

FAIRMONT CITY COUNCIL AGENDA

Monday, September 13, 2021, 5:30 p.m.

1. **Roll Call/Determination of Quorum**
2. **Pledge of Allegiance**
3. **Approval of Agenda**
4. **Recognition/Presentations**
 - 4.1 Southern Minnesota Initiative Foundation Presentation (03)
 - 4.2 Quarterly Employee Years of Service Recognition (04)
 - 4.3 Dave Neiman Memorial Source Water Protection Award (05)
5. **Public Discussion/Comment** (Individual comments are limited to 3 minutes) (07)
6. **Consent Agenda** (Items removed from consent will be placed at the end of the items under new business)
 - A. **Minutes**
 - 6.A.1 Regular Meeting, August 23, 2021 (08)
 - B. **Check Registers**
 - C. **Other**
 - 6.C.1 Event Permit – Homecoming Parade, September 24, 2021 (11)
7. **Public Hearings**
8. **Old Business**
9. **New Business**
 - 9.1 Conditional Use Permit for Kwik Trip at 217 South State Street (14)
 - 9.2 2021 Improvement Program, Declaring Costs and Ordering Assessment Roll (31)
 - 9.3 2021 Improvement Program, Calling for a Public Hearing on the Proposed Assessments (34)

9.4 Discussion on Dredging Dutch Creek (40)

9.5 Modifying the Organizational Structure of the Water and Wastewater Departments (42)

10. Staff/Liaison Reports

A. Public Works

B. Finance

C. City Administrator

D. Mayor/Council

Foster - HRA

Hasek – PUC

Kawecki – Planning Commission

Lubenow – Community Center Advisory Board

Miller – CER, Community Center Advisory Board

Peters – Visit Fairmont

11. Adjournment



Fairmont City Council
September 13, 2021

Agenda Item: 4.2

From: Cathy Reynolds, City Administrator
To: Mayor and City Council

Subject: Southern Minnesota Initiative Foundation Presentation

Policy/Action Requested: N/A

Vote Required: _____ Simple Majority _____ Roll Call

Recommendation:

Overview: Alissa Oeljenbruns, Philanthropy Officer with Southern Minnesota Initiative Foundation (SMIF) will give a presentation on SMIF's activities and to request financial support for 2021.

Budget Impact: N/A

Attachments:

Council Action: _____ Date: _____



Fairmont City Council
September 13, 2021

Agenda Item: 4.2

From: Cathy Reynolds, City Administrator
To: Mayor and City Council

Subject: Quarterly Employee Years of Service Recognition

Policy/Action Requested: Recognition of employees for years of service

Vote Required: ___ Simple Majority ___ Roll Call

Recommendation:

Overview: The City would like to recognize the following employee for his years of service:

Shannon Bass, Police Department – 20 years

Budget Impact: N/A

Attachments:

Council Action: _____ Date: _____



Fairmont City Council
September 13, 2021

Agenda Item: 4.3

From: Troy Nemmers, City Engineer/Public Works Director
To: Mayor and City Council

Subject: Dave Neiman Memorial Source Water Protection Award

Policy/Action Requested: N/A

Vote Required: _____ Simple Majority _____ Roll Call

Recommendation:

Overview: The City of Fairmont was awarded the Dave Neiman Memorial Source Water Protection Award by the Minnesota Rural Water Association and Minnesota Department of Health for efforts to identify and reduce nitrates affecting the Fairmont water supply.

Budget Impact: N/A

Attachments: Minnesota Rural Water Association Press Release

Council Action: _____ Date: _____

Press Release - Minnesota Rural Water Association

September 1, 2021

Contact: Lori Blair – Executive Director– 800-367-6792

Minnesota Rural Water Association and Minnesota Department of Health present the Large Public Water Supply System Source Water Protection Award to City of Fairmont.



The MRWA/MDH Source Water Protection Award is given annually at the MRWA Technical Conference to recognize the importance and value of source water protection efforts in Minnesota, and to recognize individuals, public water systems and organizations that have shown long term commitment, initiative, leadership, sharing of successes, and initiation or participation in activities which resulted in the protection or improvement of their source water.

The City of Fairmont has been working to protect its source water by partnering with many state and local agencies. By obtaining multiple grants the City is conducting increased monitoring for turbidity and nitrates, and completing projects with the goal to decrease nitrate levels in Dutch Creek. Fairmont has also been actively developing a Source Water Assessment and Surface Water Intake Protection Plan.

Dutch Creek is a major contributor to the chain of lakes that Fairmont takes drinking water from. They are using a SWAT model to evaluate best management practices installed in the upstream watershed outside of the Fairmont city limits to determine impact and effectiveness.

Fairmont has an extensive monitoring program for numerous parameters including nitrate and turbidity. The city needs to be able to quickly and accurately identify issues with quality to manage any threats. Fairmont allocated funding and received MDH competitive grant funding for real time monitoring of turbidity and for nitrate monitoring. They also installed multiple solar surface mixers to aid in algae reduction.

Fairmont is working in partnership on a wetland reconstruction, habitat restoration, and temperature enhanced bioreactors. The goal of the project is to investigate nitrate removal through passive heating of the source water to promote and enhance biological denitrification at Dutch Creek. This is an example of a multifaceted project to decrease nitrate in Dutch Creek.

Congratulations to the City of Fairmont for your fine efforts toward protecting your city's drinking water supply!

Photo above from left to right: City of Fairmont Water/Wastewater Plant Superintendent Doug Rainforth and Minnesota Rural Water Association Board Secretary Rod Spronk.



Fairmont City Council
September 13, 2021

Agenda Item: 5

From: Cathy Reynolds, City Administrator
To: Mayor and City Council

Subject: Open Discussion/Comment

Policy/Action Requested:

Vote Required: ____ Simple Majority ____ Roll Call

Recommendation: N/A

Overview: Prior to regular business, is there any public discussion/comment?

Budget Impact: N/A

Attachments: N/A

Council Action: _____ Date: _____



Fairmont City Council
September 13, 2021

Agenda Item: 6.A.1

From: Patricia J. Monsen, City Clerk
To: Mayor and City Council

Subject: Council Minutes from Regular Meeting on August 23, 2021

Policy/Action Requested: To Approve City Council Minutes from August 23, 2021

Vote Required: Simple Majority Roll Call

Recommendation: Approval

Overview:

Budget Impact: N/A

Attachments: City Council Minutes Regular Meeting, August 23, 2021

Council Action: _____ Date: _____

The minutes of the Fairmont City Council meeting held on Monday, August 23, 2021 at the City Hall Council Chambers.

Mayor Deborah J. Foster called the meeting to order at 5:30 p.m.

Council Members Wayne Hasek, Randy Lubenow, Michele Miller and Bruce Peters were present. Council Member Britney Kawecki was absent. Also in attendance: City Administrator Cathy Reynolds, Public Works Director/City Engineer Troy Nemmers, Finance Director Paul Hoye, Police Chief Mike Hunter, City Clerk Patricia J. Monsen, and City Attorney Ben Cass.

Council Member Peters made a motion to approve the agenda as presented. Council Member Miller seconded the motion and the motion carried.

Mike Katzenmeyer, President of the Fairmont Lakes Foundation gave a historical background and update of activities performed by the Fairmont Lakes Foundation.

Ned Koppen, President of the Fairmont Area Chamber of Commerce gave an update.

Nemmers recognized the City of Fairmont Electric Utility for receiving a Certificate of Excellence in Reliability from the American Public Power Association.

No public comment was received.

Council Member Miller made a motion to approve the items on the Consent Agenda. Council Member Peters seconded the motion and the motion carried. Items on the Consent Agenda were: Minutes from the August 9, 2021 City Council Meeting; Approval of the Accounts payable August 2021; On Sale Intoxicating Liquor License for Fairmont Channel Inn, Inc.; Appointment of Aaron Speltz to the FEDA Board; Closure of Woodland Avenue for Halloween; BevComm Purchase Order Approval for a Main Server; Oquawka Boats & Fabrications, Inc. Purchase Order Approval for a Rescue Boat for the Fire Department; Purchase Order approval for contract work for Wastewater Belt Press PLC Replacement at the Wastewater Treatment Plant.

Discussion was held on the current lake levels and water use restrictions. It was decided to continue to educate citizens and to continue the voluntary water use restrictions.

Nemmers gave project updates stating that milling had begun on Holland Street, the new Public Works Building continues and can be monitored on the City's website, the County Road 39 utility extension will begin in September. The Amber Lake boat landing and parking lot are progressing. The path from the concession stand to the band shell at Sylvania Park has been paved.

Hoye presented the June 30, 2021 financial report.

Reynolds reported that the 2020 Census results showed Fairmont's population at 10,487, which is great news. She reminded citizens that on August 26 at 5:00 p.m. Conversations with the City will take place at Wards Park. This is an opportunity for citizens to meet with city staff to ask questions and get answers.

Council Member Hasek reported that while he was at the Airport meeting there were six spray planes there. Fuel sales are up at the airport, and everything is running well. He also reported that PUC worked on the budget.

Council Member Lubenow reported that the library has offered the Children's Librarian position to someone. The library is getting back to normal operating hours, and they have hired two Pages. Lubenow reported that the Park Board is working with the baseball association on batting cages. CER is working on new class ideas. The Community Center Advisory Board voted Brandon Edmunson as their Chair and are working on the RFP process.

A motion was made by Council Member Peters, seconded by Council Member Hasek and carried to adjourn the meeting at 6:41 p.m.

Deborah J. Foster, Mayor

ATTEST:

Patricia J. Monsen, City Clerk



Fairmont City Council
September 13, 2021

Agenda Item: 6.C.1

From: Patricia J. Monsen, City Clerk
To: Mayor and City Council

Subject: Event Permit – Fairmont Student Council, Homecoming Parade, September 24, 2021

Policy/Action Requested: Motion to approve the Event Permit for the Fairmont Homecoming Parade to be held on September 24, 2021

Vote Required: Simple Majority Roll Call

Recommendation: Approval

Overview: The Fairmont Student Council has made application for an Event Permit to hold the 2021 Homecoming Parade on September 24, 2021. The parade will begin at Wards Park and proceed through Downtown Plaza.

Budget Impact: N/A

Attachments: Event Permit Application

Council Action: _____ Date: _____

PAID

AUG 23 2021

CITY OF FAIRMONT
PUBLIC UTILITIES COMM.



EVENT APPLICATION/PERMIT

This form must be filed with the City at least thirty (30) days in advance of the event. The City will review the application in accordance with the permitting process outlined in the City Code, Chapter 18. Attach additional sheets, maps, etc, if necessary. For events which include overnight camping a separate addendum must be included with the event application.

Date: 8/17/21

Permit Fee: \$15.00

Event: Homecoming Parade

Sponsoring entity: STUDENT COUNCIL - FAIRMONT

Address: 900 JOHNSON STREET

Maximum estimated number of persons expected to attend at any one time: 1,000

Event coordinator(s): JAMIE THOMPSON
Contact Info: (507) 399-1419 Phone #
E-mail

Primary contacts (during event):
Name: MELINDA CHAMBERS Name
Cell#: (507) 301-2914 Cell#
E-mail: chambers.melinda@apps.fairmont.k12.mn E-mail:

Event Start: Day/Date SEPTEMBER 24, 2021 Time: 4:00 PM
Event End: Day/Date _____ Time: 5:00 PM
Setup: Day/Date _____ Start time: 3:15 PM End Time: 3:50
Teardown: Day/Date _____ Start time: _____ End Time: _____

1. Type and description of the event and a list of all activities to take place at the event.
Homecoming Parade - FHS

2. Proposed location of event, including a site plan or diagram of the proposed area to be used showing the location of any barricades, perimeter/security fencing, fire extinguishers, safety or first aid stations, entertainment, stages, restrooms or portable toilets, parking areas, ingress and egress routes, signs, special lighting, trash containers and any other items related to the event.
WARD PARK THROUGH DOWNTOWN PLAZA.

3. Will outside drinking water or waste collection systems be supplied? Yes; No
If yes, supply public health plans, including the number of toilet facilities that will be available.

4. Will the event be providing: fire prevention, emergency medical service, security and severe weather shelter. Yes; No
If yes, provide the written plans.

5. Will organizers allow outside food wagon/vendors at the event? Yes; No
If yes, all food wagons/vendors must complete a Food Wagon/Vendor Permit and submit payment.

6. Will camping or temporary overnight lodging be included for the event? (allowed only at Cedar Creek Park and Winnebago Sports Complex): Yes; No
If yes, event coordinator must complete temporary overnight camping permit and submit payment.

7. Will the event be using any sound amplification, public address system or will there be any live performances of any music or musical instruments? Yes; No
If yes, please describe: _____

8. Will the event restrict or alter normal parking, vehicular traffic or pedestrian traffic patterns? Yes; No
If yes, provide a detailed description of all public rights of way and private streets for which the applicant requests the city to restrict or alter traffic flow. (Please attach a detailed map).

9. Will you be providing shuttle service? Yes; No
If yes, provide offsite parking locations, shuttle routes, types of vehicles that will be used for shuttling passengers, hours of operation and frequency of shuttle service.

I affirm that I am authorized to execute this application on behalf of the applicant and that the statements contained therein are true and correct to the best of my knowledge. If the special event requires special services provided by the City of Fairmont, the applicant agrees to indemnify, defend and hold the City of Fairmont, its officials, employees, and agents harmless from any claim that arises in whole or in part out of the special event, except any claims arising solely out of the negligent acts or omissions of the City of Fairmont, its officials, employees and agents. The applicant agrees to pay all fees and meet all City Code requirements.

Signature: [Signature] Title: STUDENT COUNCIL ADVISOR Date: 8/17/21

If you would like your event published on the City's website/Community Calendar, please indicate: Yes; No

Office-Use Only			
\$15.00 Fee Paid	Date: <u>8/23/21</u>	Received by: <u>Diane</u>	
Requires Council Approval	<input checked="" type="checkbox"/> Yes; <input type="checkbox"/> No	Council Meeting Date: <u>9/13/21</u>	Action:
City Administrator Approval	Yes	No	Date

- Permit distribution:
- City
 - Applicant
 - Police
 - Parks/Streets
 - Other



Fairmont City Council
September 13, 2021

Agenda Item: 9.1

From: Peter Bode, Planner/Code Enforcement Technician
To: Mayor and City Council

Subject: Conditional Use Permit for Kwik Trip at 217 S State St

Policy/Action Requested: Motion to approve the Conditional Use Permit for Kwik Trip to expand a motor fuel station as presented.

Vote Required: X Simple Majority Roll Call

Recommendation: The Planning Commission recommends approval.

Overview: On Tuesday, September 8, the Planning Commission met to review a Conditional Use Permit to support Kwik Trip's proposed expansion on their site at 217 South State Street. Kwik Trip proposes to add on to their store, increasing the footprint by about a third, and add additional parking spaces to the east of the building. The Planning Commission recommends approval of the CUP with the following conditions:

- (1) The architectural appearance and functional plan of the building and site shall not be so dissimilar to the existing building or area so as to cause impairment in property values or constitute a blighting influence within a reasonable distance of the lot. For the purposes of architectural appropriateness, each side of the motor fuel station shall be considered a front face.
(2) The entire site, other than that taken up by structures and landscaping shall be surfaced with bituminous or concrete material to control dust and provide adequate drainage.
(3) The setback of any overhead canopy or weather protection, free-standing or projecting from the station structure, shall not be less than ten (10) feet from the street right-of-way line, nor less than twenty (20) feet from an adjacent property line.
(4) Open or dead storage of motor vehicles shall not be permitted for a period of more than forty-eight (48) hours.
(5) No sales of motor vehicles, trailers and campers is permitted.
(6) At the boundaries of a residential district or use, the property (including parking areas and driveways) shall be screened in compliance with article VII.
(7) Renting of recreational vehicles, campers, trailers, or motor vehicles shall be allowed as an accessory use, provided that: a. Such is limited to thirty (30) percent of the floor area of the principal use. b. The vehicles or rental equipment storage area is fenced and screened from view of any public right-of-way or residential district or use in compliance with article VII.
(8) All lighting shall be hooded and so directed that the light source shall not be visible from the public right-of-way or from neighboring residential uses. Such lighting shall be in compliance with article VII.
(9) A curb not less than six (6) inches above grade shall separate motor vehicle service areas from public sidewalks and landscaped yards.
(10) All signage shall be in compliance with article X.
(11) Fuel pumps shall be installed on pump islands with proper protection from motor vehicles.
(12) The following minimum requirements for yards and setbacks, including standards applicable to the underlying zoning district, shall be observed in the development of motor fuel stations: lot width 150 feet, front yard 60 feet, side yard to lot 30 feet, side yard to street 60 feet, rear yard 30 feet, pump setback 25 feet.
(13) The development comply with the underlying requirements of the zoning district.

Budget Impact: None

Attachments: (1) Staff Report to Planning Commission, (2) Application for CUP

Council Action: Date:

GENERAL INFORMATION

Applicant: Kwik Trip, Inc.

Property Owner: Convenience Store Investments

Request: To approve a Conditional Use Permit for expansion of a motor fuel station

Address: 217 S State St

Parcel Number(s): 23.261.0020

Zoning: General Business (B-3)

Surrounding Land Use: General Business (B-3), Single Family Residential (R-1)

Application Date: August 18, 2021

Review Date: September 7, 2021

BACKGROUND

The applicant is requesting a Conditional Use Permit to expand a motor fuel station and convenience store at 217 South State Street. The existing Kwik Trip store has been subject to a CUP since its establishment in 2007. The site is located off of the intersection of State and Blue Earth Streets, servicing two of the busiest corridors in the city. Surrounding the General Business B-3 lot are other commercial uses and a number of single-family homes and a duplex.

The current site is made up of a station, standard fuel service points with a canopy, tractor trailer service points with a canopy, and a two-bay car wash. The current station of approximately 5,280 square feet is proposed to be expanded to the east for a total of 8,062 square feet. This would reduce the site's green space to a total of 35,319 square feet, or 28 percent of the lot. To accommodate the larger station size, the applicant proposes 32 total parking stalls where there were previously 24. The new stalls would be placed to the east of the station's adjacent green space.

POLICY CONSIDERATIONS

The Fairmont Comprehensive Plan guides the site's land use as Commercial, of which motor fuel stations are typical. Motor fuel stations are conditional uses in the B-3 General Business zoning district. A number of conditional use standards apply, which ensure the use fits well in the neighborhood.

REVIEW OF CONDITIONAL USE STANDARDS

Section 26-80 of the Fairmont City Code provides standards for which conditional use permits may be granted.

- (1) Must be in conformance with the comprehensive plan.**

The use is consistent with the Comprehensive Plan.

(2) Must not be detrimental or injurious to the general vicinity and uses already permitted in the area.

Refer below to standard (5).

(3) Not impede the normal and orderly development of surrounding vacant property.

Parcels that surround the proposed use are already developed consistent with zoning.

(4) Will be served by adequate utilities, public roads, and municipal facilities. Such requirements for public facilities shall not be detrimental to the economic welfare of the city.

The parcel is currently served by adequate public utilities, infrastructure, and services.

(5) Must not cause offensive odors, fumes, dust, noise, and vibration that would be injurious or a nuisance to adjacent uses and the surrounding area.

The use is located adjacent to residential properties. Some complaints have been received by the City relating to the use's impact on those properties, particularly at night. Of concern are overnight parking lot maintenance activities, idling tractor trailers, and trash debris carried by the wind to neighboring lawns to the South.

(6) Will conform to specific standards of this chapter applicable to the particular use.

City Code Section 26-254, relating to motor fuel stations, requires:

(1) The architectural appearance and functional plan of the building and site shall not be so dissimilar to the existing building or area so as to cause impairment in property values or constitute a blighting influence within a reasonable distance of the lot. For the purposes of architectural appropriateness, each side of the motor fuel station shall be considered a front face.

(2) The entire site, other than that taken up by structures and landscaping shall be surfaced with bituminous or concrete material to control dust and provide adequate drainage.

(3) The setback of any overhead canopy or weather protection, free-standing or projecting from the station structure, shall not be less than ten (10) feet from the street right-of-way line, nor less than twenty (20) feet from an adjacent property line.

(4) Open or dead storage of motor vehicles shall not be permitted for a period of more than forty-eight (48) hours.

(5) No sales of motor vehicles, trailers and campers is permitted.

(6) At the boundaries of a residential district or use, the property (including parking areas and driveways) shall be screened in compliance with article VII.

(7) Renting of recreational vehicles, campers, trailers, or motor vehicles shall be allowed as an accessory use, provided that:

a. Such is limited to thirty (30) percent of the floor area of the principal use.

b. The vehicles or rental equipment storage area is fenced and screened from view of any public right-of-way or residential district or use in compliance with article VII.

(8) All lighting shall be hooded and so directed that the light source shall not be visible from the public right-of-way or from neighboring residential uses. Such lighting shall be in compliance with article VII.

(9) A curb not less than six (6) inches above grade shall separate motor vehicle service areas from public sidewalks and landscaped yards.

(10) All signage shall be in compliance with article X.

(11) Fuel pumps shall be installed on pump islands with proper protection from motor vehicles.

(12) The following minimum requirements for yards and setbacks, including standards applicable to the underlying zoning district, shall be observed in the development of motor fuel stations:

	Lot Width (feet)	Front Yard (feet)	Side Yard		Rear Yard (feet)	Pump Setback (feet)
			Adj. to Another Lot (feet)	Adj. to Street (feet)		
Motor Fuel Station	150	60	30	60	30	25
Truck Stop	200	80	60	80	60	30

The proposed expansion meets the specific conditions of 26-254 (1) to (12).

RECOMMENDATION

Staff find that the proposal generally meets the requirements of City Code. Staff recommend approval of the CUP and the Commission’s recommendation to City Council.

The Commission has the ability to add conditions to the permit in order to reduce some impacts related to overnight noise, idling of trucks, and garbage.

Respectfully submitted,

Peter Bode

Planner/Code Enforcement Technician



**CITY OF FAIRMONT
Planning & Zoning
Application Form**

NOTE TO APPLICANT: This is a comprehensive application form. Only those items related to your specific type of development are to be completed. All items applicable must be included prior to acceptance of the application.

Name of Applicant: BJORN BERG Address: 1626 OAK ST Phone#: 608-791-4343
LA, CROSS ST, WF 54602
 Street Address of Proposal: 217 S STATE ST
 Legal Description of Property: LOT 10, IN BLOCK 1, WARD HOME ADDITION TO THE CITY OF FAIRMONT, MARTIN COUNTY, MINNESOTA
 Existing Use of Property: GENERAL BUSINESS - CONVENIENCE STORE W/ GAS
 Proposed Use of Property: GENERAL BUSINESS - CONVENIENCE STORE W/ GAS

Type of Application	Fee	Submission Requirements (Attached)
<input type="checkbox"/> Appeal/Code Amendment	\$150.00	7
<input type="checkbox"/> Administrative Appeal	50.00	8
<input checked="" type="checkbox"/> Conditional Use Permit	150.00	4, 6(d-g)
<input type="checkbox"/> Home Occupation Permit	30.00	9
<input type="checkbox"/> Minor Plat	90.00	2(a), 5 (a-b)
<input type="checkbox"/> Planned Unit Development	150.00	1, 4, 6(d-g)
<input type="checkbox"/> Preliminary Plat	150.00	5 (b), 6
<input type="checkbox"/> Rezoning	150.00	1
<input type="checkbox"/> Variance	90.00	2,3

I HEREBY CERTIFY THAT THE INFORMATION AND EXHIBITS HERewith SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

BJORN BERG Owner's Name (Printed)  Owner's Signature
BJORN BERG Applicant's Name (Printed)  Applicant's Signature

City Staff Use Only
DATE FILED: _____
DATE FEE PAID: _____
MEETING DATE: _____
NOTICES SENT (DATE): _____
NOTIFICATION OF EXTENSION (LETTER SENT): _____



Store Engineering

FAX 608-793-6237

1626 Oak St., P.O. Box 2107
La Crosse, WI 54602

www.kwiktrip.com

City of Fairmont
Peter Bode
100 Downtown Plaza
Fairmont, Minnesota 56031

August 17th, 2021

CUP Permit Submittal

Mr. Bode,

This letter is intended to accompany our submittal to the City of Fairmont for the requested CUP Application for our proposed project located at the 217 S State St Store. Kwik Trip, Inc. is proposing an Addition and Remodel to the existing convenience store.

Our proposal includes an addition to an Existing Convenience Store. This Use fits into the City of Fairmont's Comprehensive plan. The property is currently zoned B-3 General Business and is in an area of the city that is heavily business orientated, specifically for automobile focused business. We feel that this proposal blends well with the other uses already permitted in this area.

This proposal will not impede the development of surrounding vacant properties. The Facility is currently in use and is served by adequate utilities, public roads, and municipal facilities. Those features will be maintained for the future proposal/plan. Vehicular access points are being maintained (existing) We feel they are well designed as they exist and have very little conflict with through traffic movements. We feel they comply with the requirements of the City Codes and require no modifications. We are proposing to add some parking stalls at the East side of the Building, these will be paved with Concrete.

To our Knowledge, the current business activities at this location do not cause offensive odors, fumes, dust, noise, or vibrations that would be injurious or a nuisance to adjacent uses and the surrounding areas.

Our Proposal for the Building Addition blends well with the architectural appearance and functional plan of the existing building and is similar to the existing buildings in the surrounding area.

Site lighting is being proposed and is shown on the Photometric plan. Our plan prevents direct sources of light from being visible from adjacent land or from public rights-of-way.

Our proposed plan includes a new storage shed and a new trash enclosure to screen dumpsters and trash from public view.

We are proposing to relocate a few trees to the east as part of our project. There are currently 2 or 3 trees that are in the way for our Building Addition. We are willing to do some additional things with landscaping if that is desired by the City of Fairmont. But at this time, additional landscaping was not something we had planned.

OUR MISSION

To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life.

I have submitted the required hard copies per the applications as well as a link to all the digital files. I have also enclosed a \$150.00 check for the CUP review.

Kwik Trip would be happy to provide any additional information or answer any questions or concerns you may have with our submission. Please feel free to call me with any questions.

Thank you for your time. Please call or email with questions.

Sincerely,

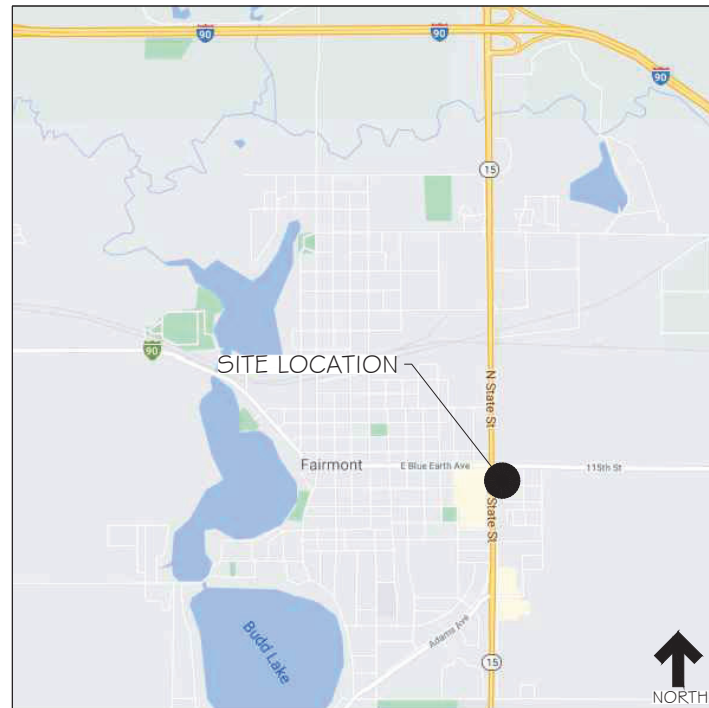


Bjorn Berg
Kwik Trip Store Engineering
608-791-4343
bberg@kwiktrip.com

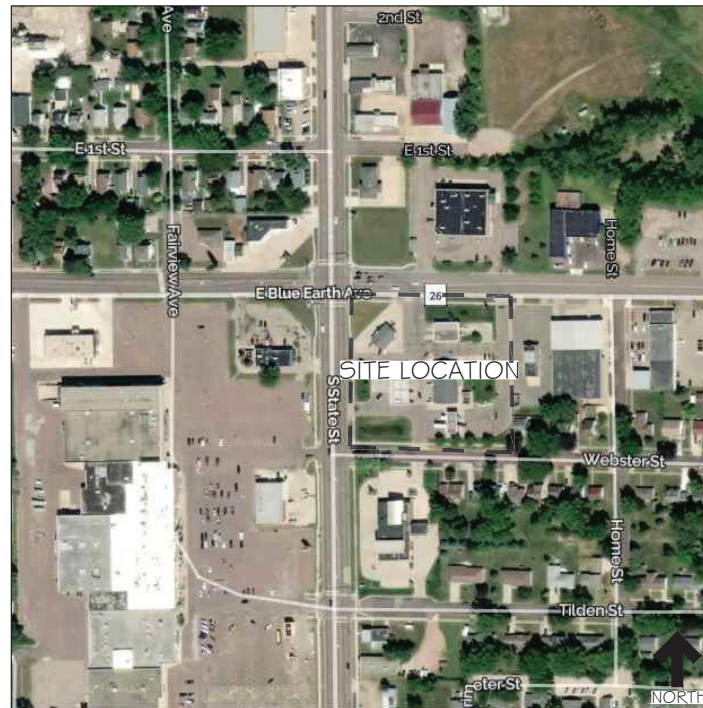
SITE IMPROVEMENT PLANS FOR:

KWIK TRIP #424
FAIRMONT, MN

SITE LOCATION MAP:



SITE AERIAL MAP:



DRAWING INDEX	
T 1	TITLE SHEET
ALTA	ALTA SURVEY
SPD 1	DEMO PLAN
SP 1.0	SITE DIMENSION PLAN
SP 1.1	SITE KEYNOTE PLAN
SP 2.1	GRADE PLAN
SP 2.2	GRADE PLAN SPOT DETAIL
SP 5	SITE PLAN DETAILS
LI	LANDSCAPE PLAN

**Kwik
TRIP**

**Kwik
STAR**

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LACROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

TITLE SHEET

CONVENIENCE STORE 424

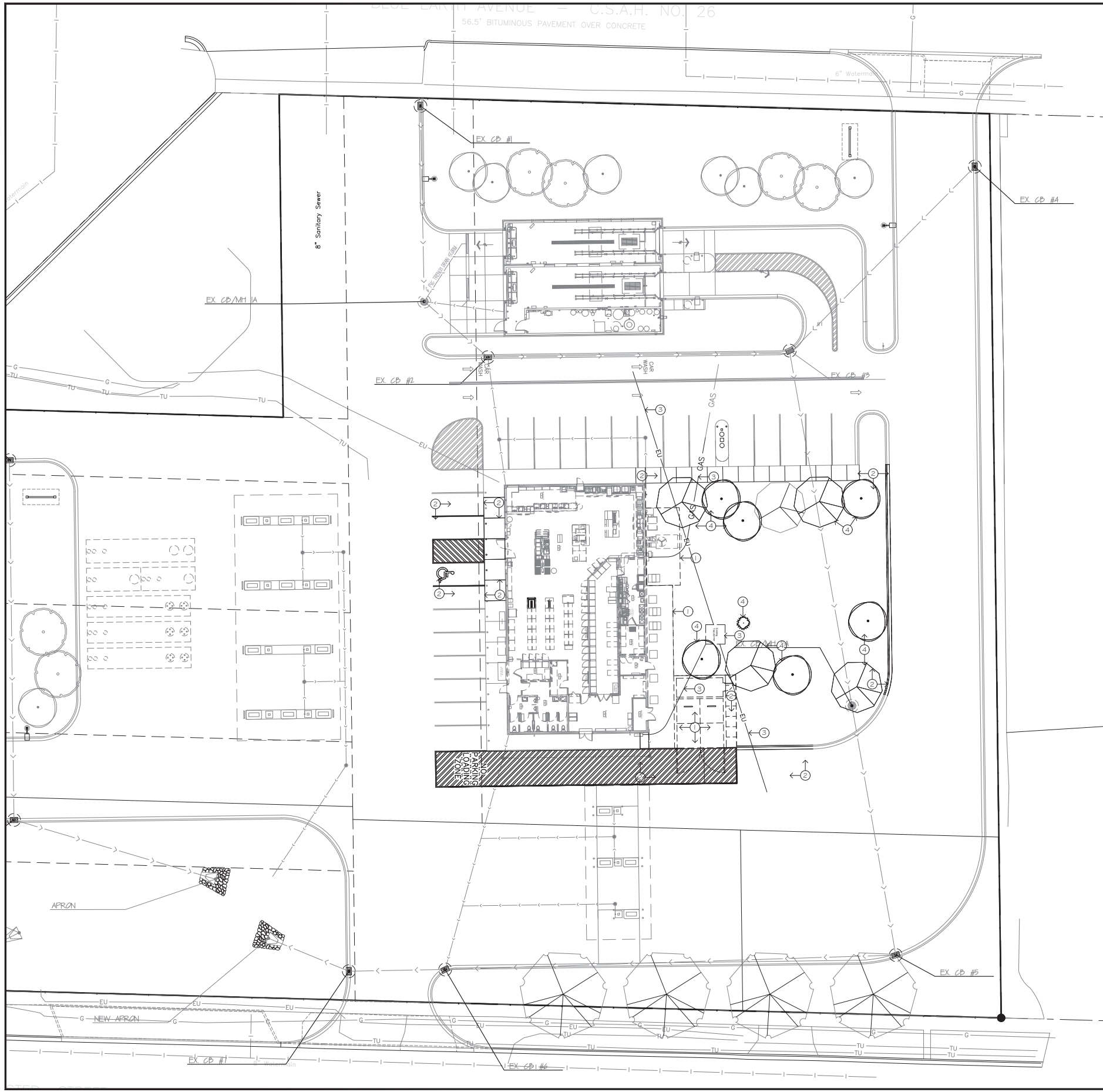
**217 S. STATE STREET
FAIRMONT, MINNESOTA**

PUBLIC UTIL / STORMWATER MGNT / ENGINEER:
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
100 DOWNTOWN PLAZA
FAIRMONT, MN 56031
TROY NEMMERS
507-238-9461 (CUSTOMER SERVICE)
507-238-3942 (DIRECT)
TNEMMERS@FAIRMONT.ORG

ELECTRIC:
ELECTRICAL DISTRIBUTION SUPERVISOR
1120 MARCUS STREET
FAIRMONT, MN 56031
TROY NEMMERS
507-238-6811
507-235-6789 (24HR EMERGENCY)
MMEIXELL@FAIRMONT.ORG

WATER / WASTE WATER:
WASTEWATER / WATER PLANT SUPERVISOR
300 DAY STREET
FAIRMONT, MN 56031
DOUG RAINFORTH
507-235-6789 (24HR EMERGENCY)
DRAINFORTH@FAIRMONT.ORG

NO.	DATE	DESCRIPTION
-	29 JUL 21	PERMIT SET
-	17 AUG 21	CARWASH UPDATE
-		
-		
DRAWN BY _____		
SCALE _____		GRAPHIC _____
PROJ. NO. _____		KT 424
DATE _____		17 AUG 21
SHEET _____		T1



- SITE PLAN KEYNOTES**
- NOTE: MAINTAIN ACCESS TO NEIGHBORING BUSINESSES THROUGHOUT THE CONSTRUCTION PROCESS.
- PARTIAL EXISTING BUILDING TO BE REMOVED REMOVE STRUCTURE, FOOTINGS AND ASSOCIATED WALKS AND PAVEMENT. DISCONNECT EXISTING UTILITY SERVICE LINES PER CITY, COUNTY AND STATE SPECIFICATIONS SEE ARCH.
 - EXISTING GRAVEL, CONCRETE AND BITUMINOUS TO BE REMOVED.
 - EXISTING SERVICE LINES TO BE REMOVED FROM SITE. SEE SHEET SP3, SP4 FOR UTILITY INFORMATION.
 - VEGETATION TO BE REMOVED AND STORED FOR REPLANTING WHERE APPLICABLE. SEE SHEET LI.

LOCATE ANY AND ALL FIBER OPTIC LINES PRIOR TO COMMENCING SITE DEMOLITION AND CONSTRUCTION. MARK CLEARLY AND AVOID.



Know what's below.
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20 10 0 20 40

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2\"/>



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LACROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3030 Harbor Lane North, STE. 131
Plymouth Minnesota 55447
763.383.8400
fax 763.383.8400

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Date: 12SEP17
Signed: No. 19306
Robert J. Mueller

SITE DEMOLITION PLAN

CONVENIENCE STORE 424

**217 S. STATE STREET
FAIRMONT, MINNESOTA**

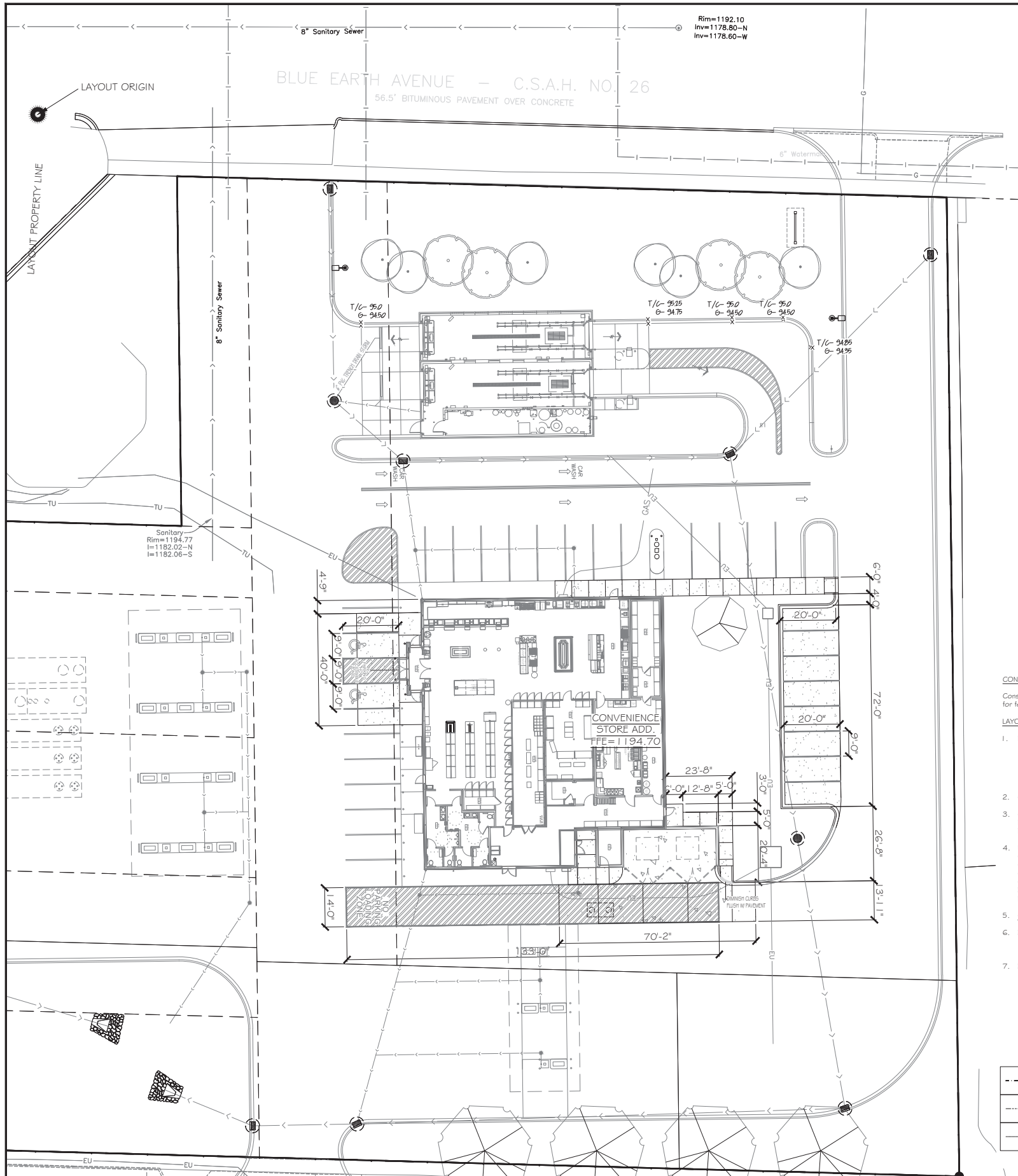
NO.	DATE	DESCRIPTION
---	29JUL21	PERMIT SET
---	17AUG21	CARWASH UPDATE

DRAWN BY: _____ SCALE: _____ GRAPHIC: _____

PROJ. NO. _____ KT 424

DATE: _____ 17AUG21

SHEET: _____ **SPD1**



CONSTRUCTION NOTE:

Construction fencing to be installed around entire construction site. Coordinate with owner for fencing and gate locations and appropriate signage installation.

LAYOUT NOTES:

1. PLAN PREPARED FROM AN ALTA/ACSM LAND TITLE SURVEY BY: BOLTON & MENK 1960 PREMIER DRIVE MANKATO, MN 56001 507-625-4171 DATED MAY 1, 2007
2. CURBS ARE DIMENSIONED TO FACE OF CURB.
3. CONVENIENCE STORE AND ISLAND COMPLEXES ARE LOCATED FROM THE NORTHEAST PROPERTY CORNER AND ALIGNED PARALLEL/ PERPENDICULAR TO THE NORTH PROPERTY LINE AS INDICATED ON THIS PLAN.
4. UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES. CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' O.C., ALL OTHERS- 10' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS. EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' O.C., ALL OTHERS- 40' O.C. DOWEL ALL EXPANSION JOINTS- MAXIMUM 24' O.C.
5. CONCRETE IN ISLAND COMPLEX SHALL BE SMOOTH BROOM FINISHED.
6. EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER: APR 15- OCT 31 USE: TK-26UV NOV 1- DEC 31 USE: TK-290
7. EXPANSION JOINTS SHALL BE DECK-O-FOAMED AND CAULKED WITH SL1

SITE DATA:

ZONING DISTRICT:	B-1
TOTAL SITE AREA:	124,259 SF
EX. IMPERVIOUS:	-
EX. PERVIOUS:	-
PARKING REQUIREMENTS	1/250 15
PARKING REQUIRED	32 STALLS
PARKING PROVIDED	16 SRV. PNTS + 2 DIESEL
BUILDING HEIGHTS	
CONVENIENCE STORE	23.5'
CAR WASH	14.0'
CANOPY	20.0'
BUILDING SETBACKS	
FRONT	60'
REAR	30'
SIDE YARD	30'
PROPOSED GREEN AREA:	35,319 SF 28%
PROPOSED HARD COVER:	87,766 SF 70%
PAVED AREA:	76,716 SF 62%
BUILDING AREA:	10,952 SF 9%
STORE	8,062 SF
CAR WASH	2,890 SF

---	PROPERTY BOUNDARY LINE
----	RIGHT-OF-WAY LINE
---	EASEMENT LINE



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NORTH
SCALE: 1" = 20'



PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/4" SCALE. 1"=40'

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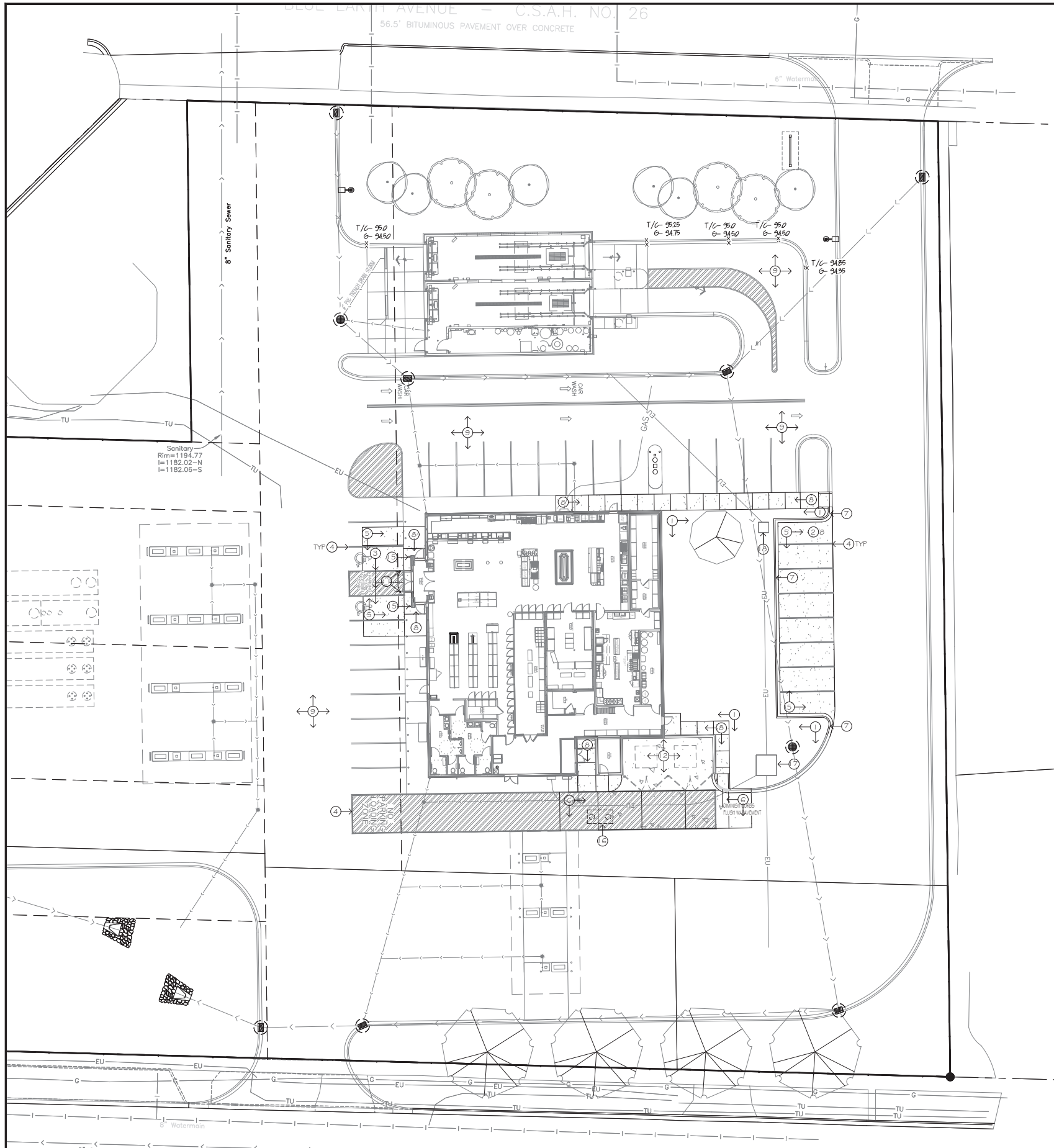
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Date: 12SEP17
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Lic. No. 19306

SITE DIMENSION PLAN
CONVENIENCE STORE 424
217 S. STATE STREET
FAIRMONT, MINNESOTA

NO.	DATE	DESCRIPTION
-	29JUL21	PERMIT SET
-	17AUG21	CARWASH UPDATE
-		
-		

DRAWN BY: _____
SCALE: GRAPHIC
PROJ. NO.: KT 424
DATE: 17AUG21
SHEET: **SP1.0**



SITE PLAN KEYNOTES

1. LANDSCAPE AREA. SEE SHEET L1.
2. OFF-STREET PARKING STALLS STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY WHITE PAINT. SPACES PROVIDED (1) 6 SERVICE POINTS (2) DIESEL POINTS (3) 9'-0" x 20'-0" (MIN.) GENERAL PARKING - NEW (7) 1) 9'-0" x 20'-0" (MIN.) GENERAL PARKING - EXISTING (2) 8'-0" x 20'-0" (MIN.) ACCESSIBLE PARKING W/ - EXISTING (RE-STRIPING) (1) 9'-0" x 20'-0" (MIN) LOADING ZONE - EXISTING (2) 11'-0" x 20'-0" VACUUM STALLS - EXISTING
3. A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
4. 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: HC MARKINGS- BLUE, ALL OTHERS- YELLOW.
5. 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR, 3' O.C. CONCRETE SEALER: TK-2GUV
6. 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #4 REBAR, 3' O.C. CONCRETE SEALER: TK-2GUV
7. 6G-12 CONCRETE CURB AND GUTTER PER DETAIL 11/SP5.
8. 6" INTEGRAL CONCRETE CURB/ WALK. SEE DETAIL 7/SP5 FOR NON-FLUSH SECTIONS. CONCRETE SEALER: TK-2GUV
9. CONTRACTOR TO RE-STRIP/ ENTIRE SITE AS PART OF PROJECT.
10. 30" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 9/SP5.
11. 36" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 8/SP5.
12. EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS.
13. SITE AREA LIGHT WITH CONCRETE BASE PER DETAIL 12/SP5
14. 4" DEPTH CONCRETE WALK PER DETAIL 3/SP5
15. HC PVC BOLLARD SLEEVE PER OWNER. VAN ACCESS SIGNAGE AT 48" HT. STALL PARKING AT 60' HT.
16. GREASE INTERCEPTOR
17. ELECTRICAL TRANSFORMER
18. ELECTRICAL DISCONNECT

- 1,408 SF
- 1,615 SF
- 1,197 SF

---	PROPERTY BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE



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NORTH
SCALE: 1" = 20'



PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE AREA SCALE: 1"=40'

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TRIP**

**Kwik
STAR**

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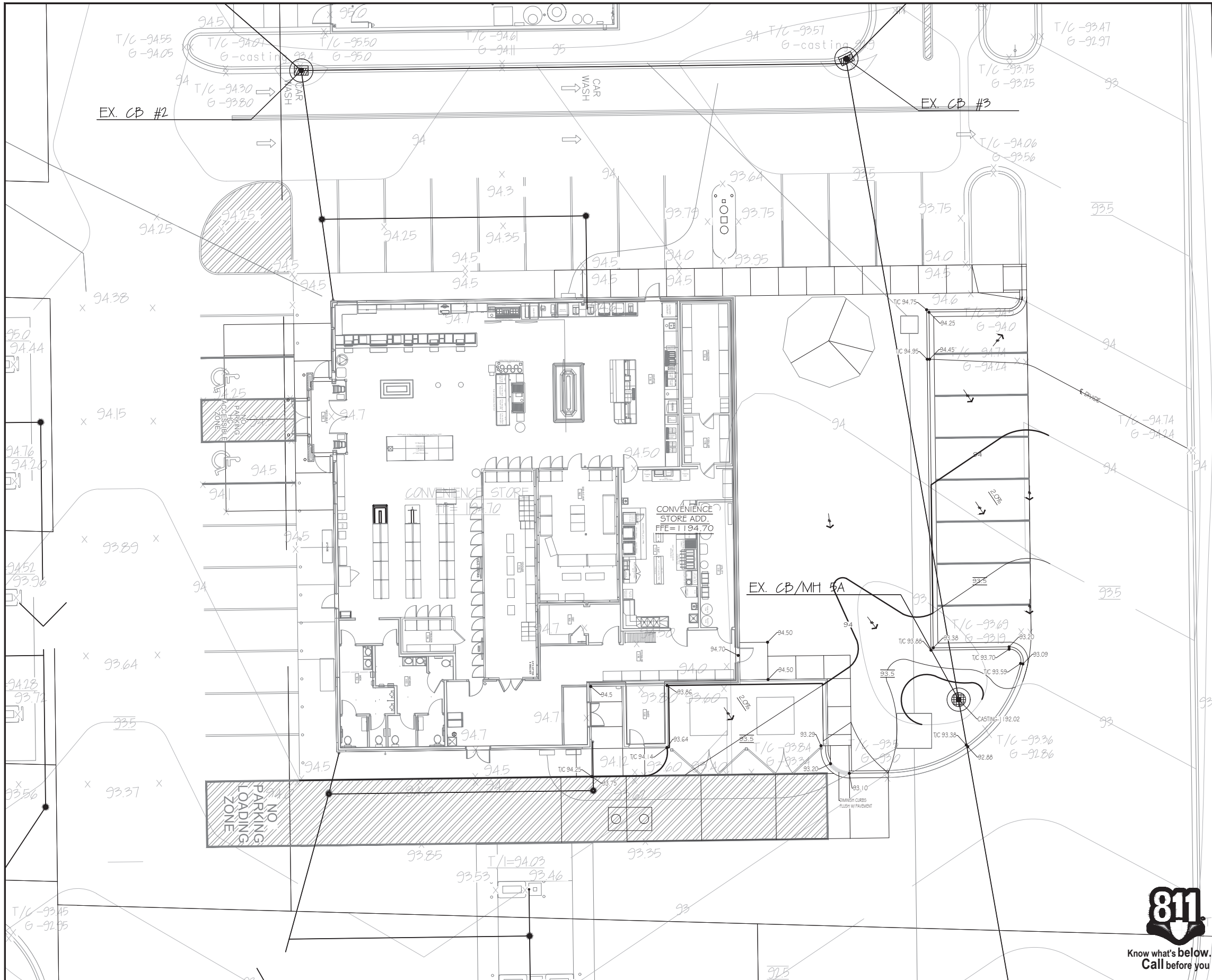
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Professional No. 19306

SITE KEYNOTE PLAN
CONVENIENCE STORE 424
217 S. STATE STREET
FAIRMONT, MINNESOTA

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SHEET: _____

SP1.1



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 License No. 19306

GRADE PLAN SPOT DETAIL
CONVENIENCE STORE 424
 217 S. STATE STREET
 FAIRMONT, MINNESOTA

NO.	DATE	DESCRIPTION
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2	17AUG21	CARWASH UPDATE

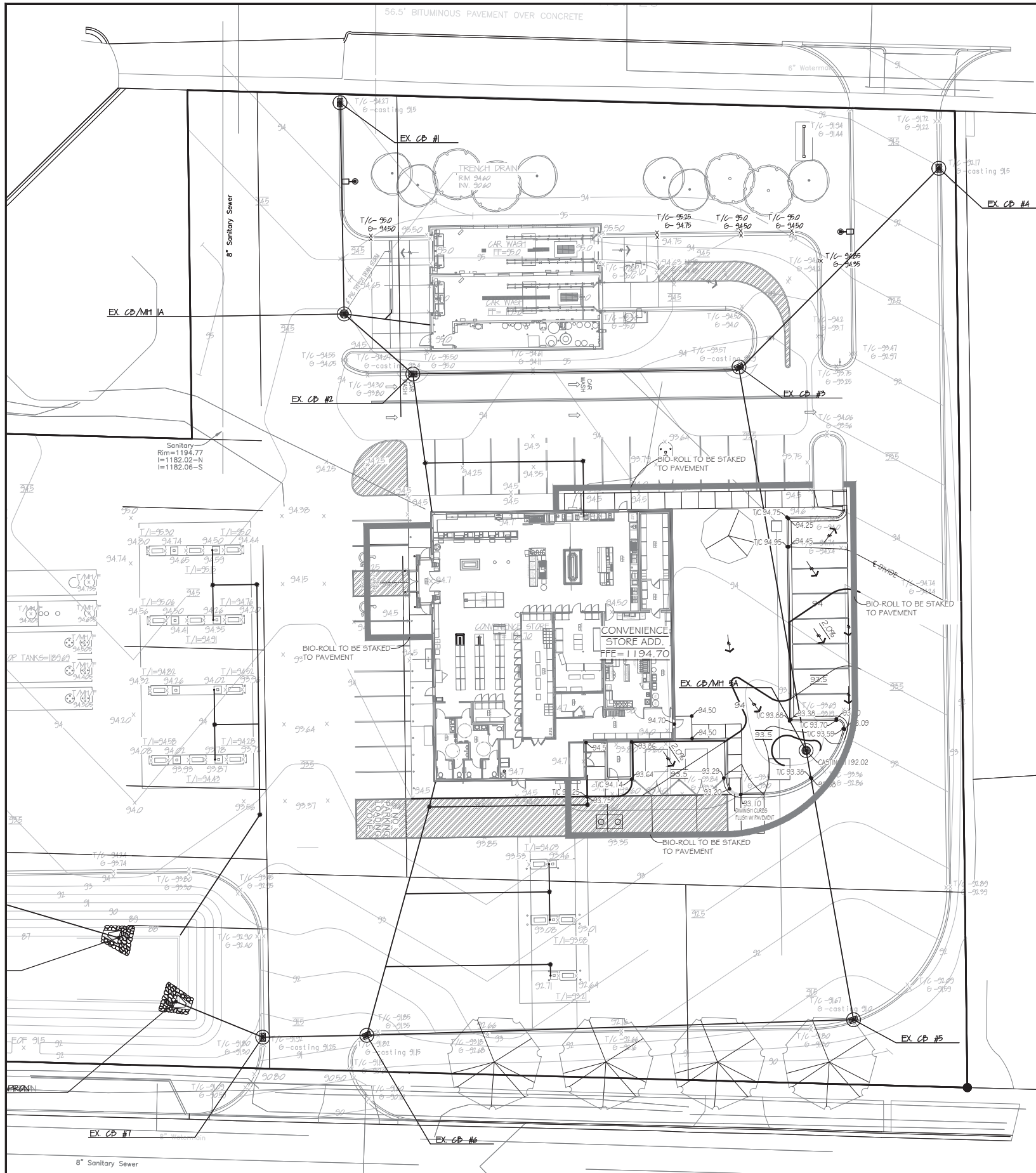
DRAWN BY: _____
 SCALE: _____ GRAPHIC: _____
 PROJ. NO.: _____ KT 424
 DATE: _____ 17AUG21
 SHEET: _____ **SP2.1.1**



Know what's below.
 Call before you dig.



PLOTTING NOTE: PLANS PLOTTED TO 11x17
 SHEET SIZE ARE 1/2" SCALE. 1"=20'.



NOTE: CONTRACTOR TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION NOTE:

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATIONS AND APPROPRIATE SIGNAGE INSTALLATION.

NOTE:

- REFER TO OTHER PROJECT PLANS AND INFORMATION RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.

- PLAN PREPARED FROM PRIOR ALTA/ACSM LAND TITLE SURVEY BY:

BOLTON & MENK
1960 PREMIER DRIVE
MANKATO, MN 56001
507-625-4171

- CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

- REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

- SITE SURVEY AND CONTOURS USED FROM PRIOR CONSTRUCTION DOCUMENTS FOR THE ORIGINAL SITE DEVELOPMENT.

FINISHED FLOOR ELEVATIONS

PROPOSED CONVENIENCE STORE
FINISHED ELEVATION = 1358.20 FEET

PROPOSED CAR WASH
FINISHED ELEVATION = 1357.53 FEET

BENCHMARK
SEE SURVEY FOR BENCHMARK INFORMATION

NOTE GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.



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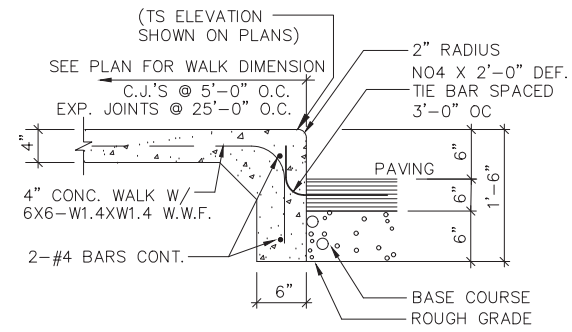
GRADE PLAN
CONVENIENCE STORE 424
217 S. STATE STREET
FAIRMONT, MINNESOTA

NO.	DATE	DESCRIPTION
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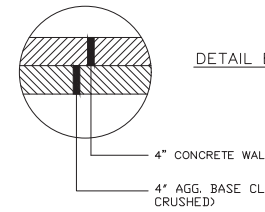
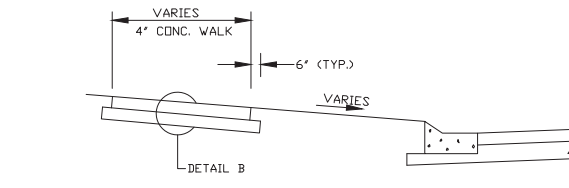
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SCALE: GRAPHIC
PROJ. NO.: KT 424
DATE: 17AUG21
SHEET: **SP2.1**



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PLOTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE. 1"=40'.

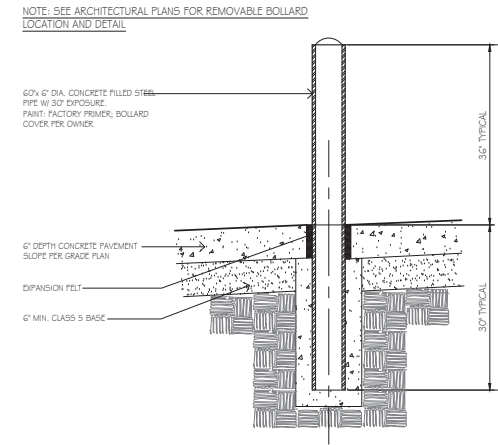


7 | SIDEWALK/ CURB DETAIL
SP5 | NOT TO SCALE

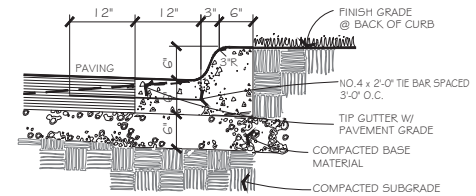


- NOTES:
- 8" THICK CONCRETE SIDEWALK AT ALL DRIVEWAYS
 - PLACE PEDESTRIAN CURB RAMP AT ALL INTERSECTIONS.
 - PROVIDE EXPANSION JOINT MATERIAL AT MAX. 60' FDOT SPACING.
 - PROVIDE EXPANSION JOINT MATERIAL ALONG BOTH EDGES OF WALK, WHERE WALK IS CONTAINED BETWEEN FIXED OBJECTS.

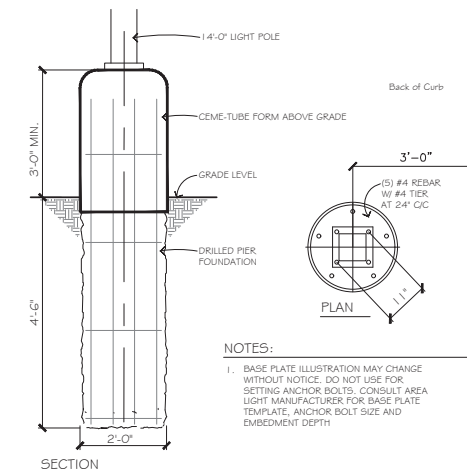
3 | CONCRETE WALK/ PAD DETAIL
SP5 | NOT TO SCALE



8 | 66" x 6" DIAMETER PIPE BOLLARD
SP5 | SCALE - 3/8" = 1'-0"



11 | CONCRETE CURB DETAIL
SP5 | SCALE - 3/4" = 1'-0"



12 | ROUND AREALIGHT FOUNDATION
SP5 | SCALE - 1/2" = 1'-0"

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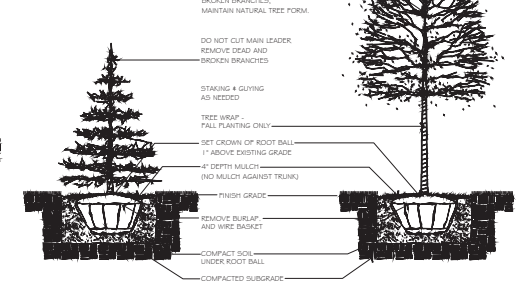
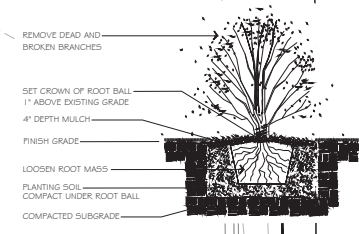
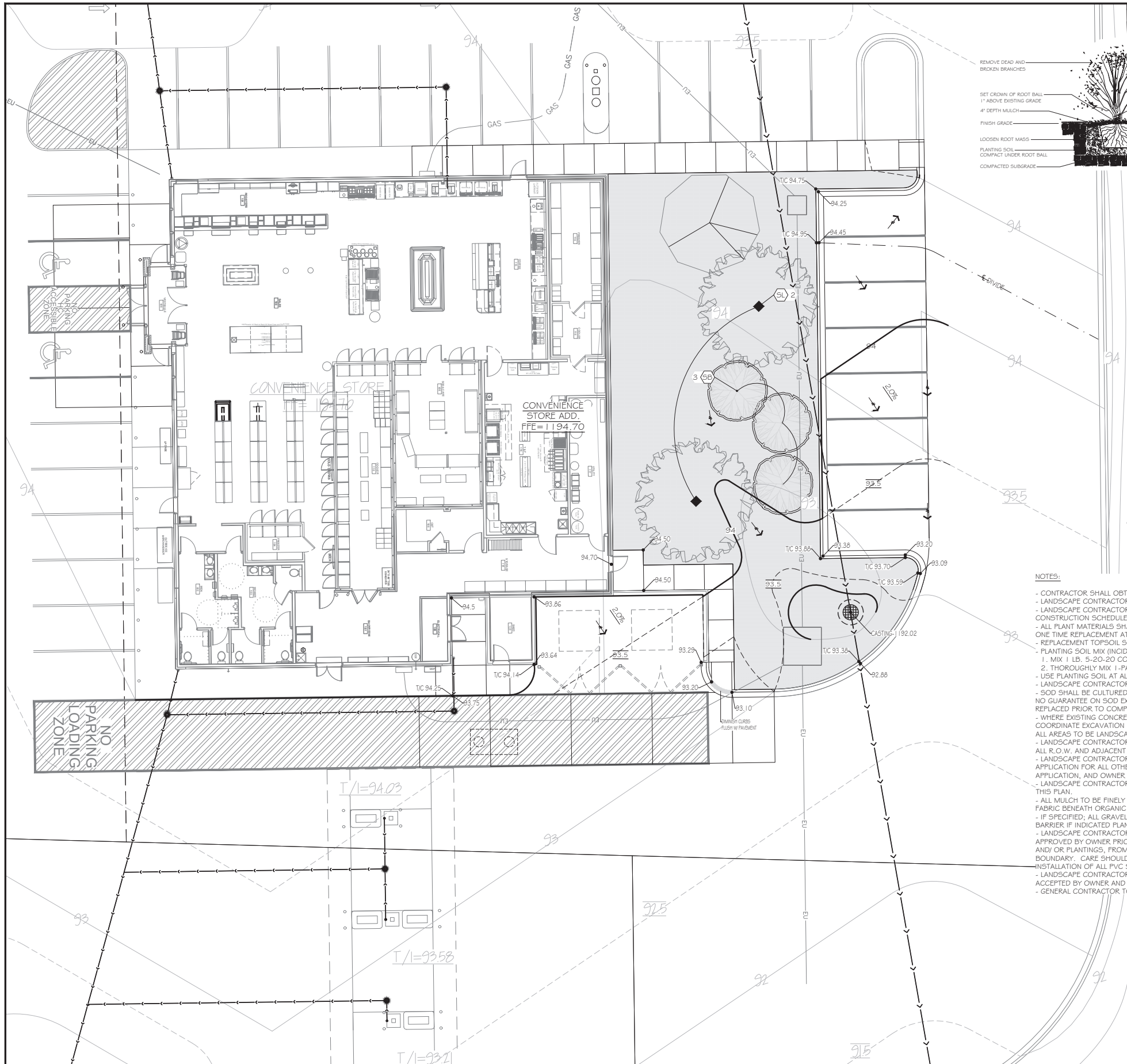
INSITES
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763.383.8400
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Date: 12SEP17
Signed: Robert J. Mueller
Professional No. 19306

SITE PLAN DETAILS
CONVENIENCE STORE 424
217 S. STATE STREET
FAIRMONT, MINNESOTA

NO.	DATE	DESCRIPTION
1	29JUL21	PERMIT SET
2	17AUG21	CARWASH UPDATE

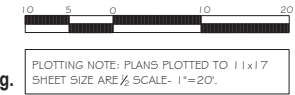
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SCALE: GRAPHIC
PROJ. NO.: KT 424
DATE: 17AUG21
SHEET: **SP5**



PLANT MATERIAL					
QUANTITY	SIZE	ROOT TYPE	COMMON NAME	BOTANICAL NAME	HEIGHT X WIDTH
OVERSTORY TREES	SL 2	EXISTING ON SITE RELOCATE	SOYLENE HONEYLOCUST	Gleditsia inaequalis var. 'nervosa 'Soyloc'	50' x 30'
UNDERSTORY TREES	SB 3	EXISTING ON SITE RELOCATE	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier x grandiflora 'Autumn Brilliance'	20' x 15'
EDGING	LF				
MULCH	CY				
500' - 442 SY					

NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES WHICH MAY EFFECT HIS WORK.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS AT SITE AND COMPLETE HIS WORK PER OWNERS CONSTRUCTION SCHEDULE.
- ALL PLANT MATERIALS SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME OR UPON REQUEST OF OWNER.
- REPLACEMENT TOPSOIL SHALL BE CLEAN, FREE OF STONES, WEEDS, AND OTHER UNDESIRABLE DEBRIS.
- PLANTING SOIL MIX (INCIDENTAL COST ITEM)
 1. MIX 1 LB. 5-20-20 COMMERCIAL FERTILIZER PER CU. YD. TOPSOIL
 2. THOROUGHLY MIX 1-PART SAND AND 1-PART PEAT MOSS WITH 5-PARTS FERTILIZER AND TOP SOIL.
- USE PLANTING SOIL AT ALL LOCATIONS PER DETAILS THIS SHEET.
- LANDSCAPE CONTRACTOR SHALL VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- SOD SHALL BE CULTURED WITH PREDOMINANTLY KENTUCKY BLUEGRASS SEED OF RECENT DISEASE RESISTANT INTRODUCTIONS. NO GUARANTEE ON SOD EXCEPT ANY SOD NOT SATISFACTORY AT TIME OF COMPLETION INSPECTION SHALL BE PROMPTLY REPLACED PRIOR TO COMPLETION OF JOB. STAKE SOD ON SLOPES 3:1 AND GREATER.
- WHERE EXISTING CONCRETE/ ASPHALT AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 2' WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE EITHER HYDROMULCH OR DISKED STRAW DEPENDING ON SEED TYPE, APPLICATION, AND OWNER REQUEST.
- LANDSCAPE CONTRACTOR TO INSTALL 'VALLEY VIEW', 'BLACK DIAMOND' EDGING AROUND ALL PLANTING BEDS AS SHOWN ON THIS PLAN.
- ALL MULCH TO BE FINELY SHREDDED HARDWOOD ORGANIC BARK MULCH. NO DYED MULCHES. INSTALL 4" DEPTH. NO FILTER FABRIC BENEATH ORGANIC MULCHES. NO EDGING AROUND ALL TREES OUTSIDE SHRUB BEDS.
- IF SPECIFIED; ALL GRAVEL MULCH SHALL BE 1" DIA. WASHED 'RIVER ROCK'. INSTALL 4" DEPTH WITH APPROVED WEED FABRIC BARRIER IF INDICATED PLAN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SYSTEM INSTALLATION PER IRRIGATION PLAN. DESIGN SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. IRRIGATION DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND/OR PLANTINGS, FROM CURB TO CURB. R.O.W. SHOULD BE IRRIGATED FROM SPRINKLER HEADS LOCATED WITHIN PROPERTY BOUNDARY. CARE SHOULD BE TAKEN IN VICINITY OF ALL WALKS AND DRIVES TO MINIMIZE OVER SPRAY. COORDINATE INSTALLATION OF ALL PVC SLEEVES UNDER DRIVE AREAS WITH GENERAL CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER ALL LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER AND DAILY AS DEEMED NECESSARY BY THE CITY.
- GENERAL CONTRACTOR TO SWEEP PAVEMENT AREAS PRIOR TO TURN OVER TO OWNER.



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 Date 12SEP17
 Signed Robert J. Mueller
 License No. 19306

LANDSCAPE PLAN
CONVENIENCE STORE 424
 217 S. STATE STREET
 FAIRMONT, MINNESOTA

NO.	DATE	DESCRIPTION
---	29JUL21	PERMIT SET
---	17AUG21	CARWASH UPDATE

DRAWN BY: _____
 SCALE: GRAPHIC
 PROJ. NO. KT 424
 DATE 17AUG21
 SHEET L1

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name: Mark A. Schmitt
Signature: *[Signature]*
Date: 07/27/2021 License # 50272

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Proposed Remodel and Addition to
Kwik Trip Store #424
217 S State Street
Fairmont, Minnesota 56031

PROJECT #: 21016
DRAWN: KKF
CHECKED: MAS
DATE: 07/27/2021
ISSUED:

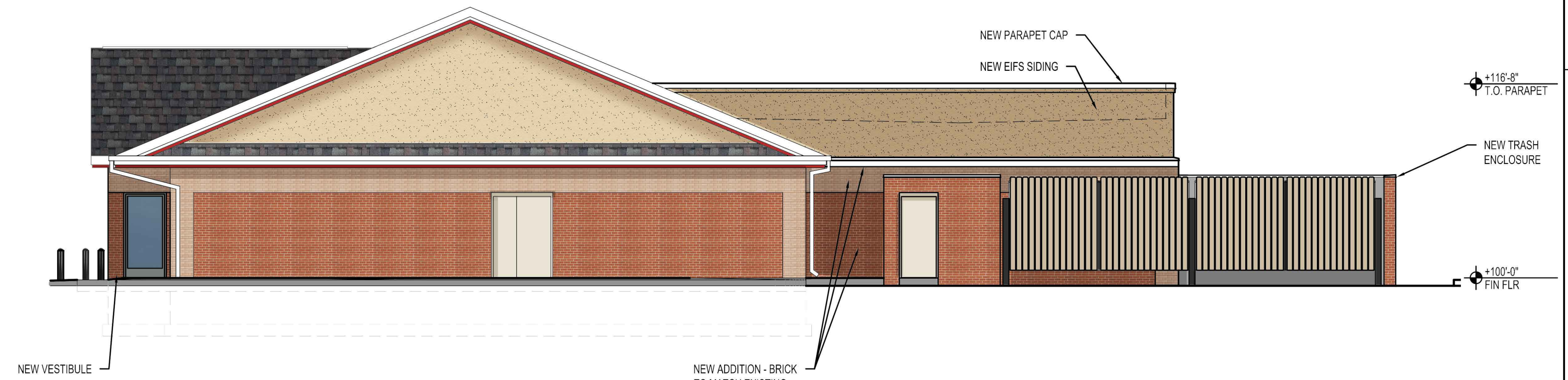
REVISIONS:

EXTERIOR ELEVATIONS

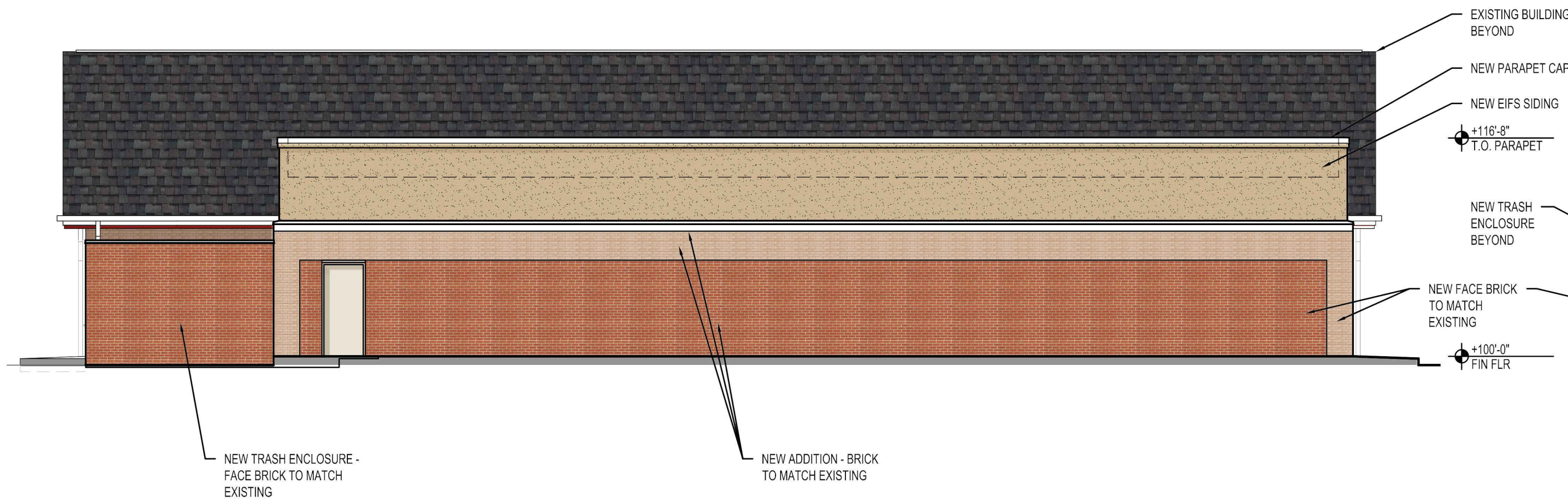
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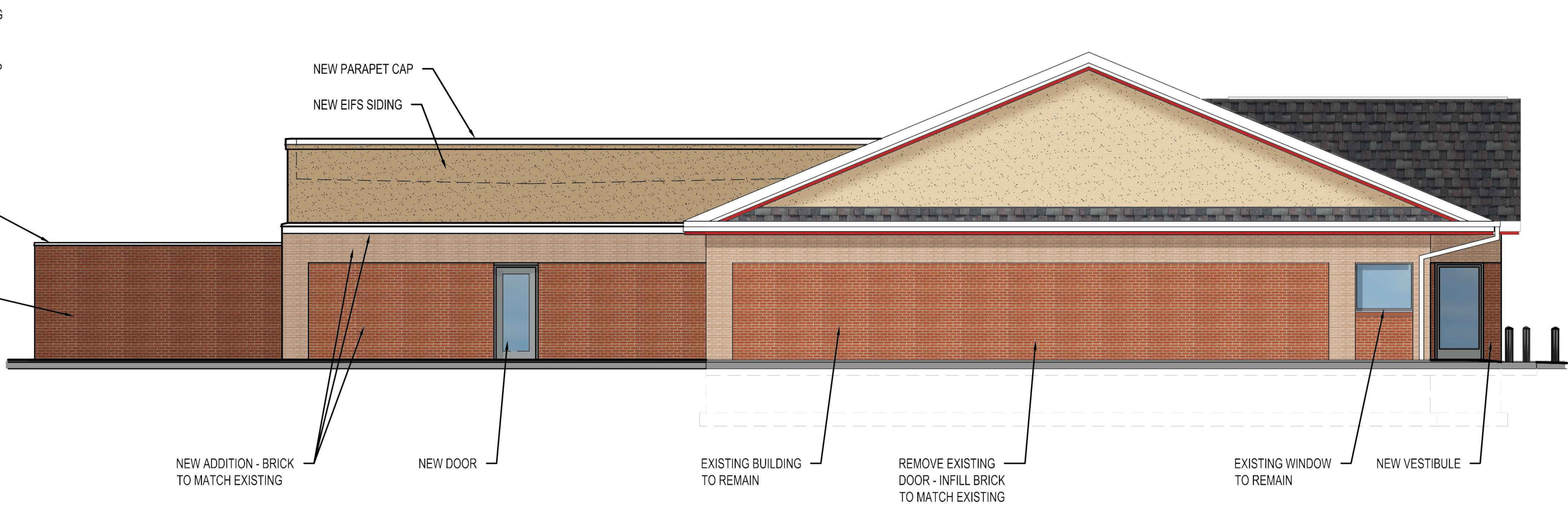
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



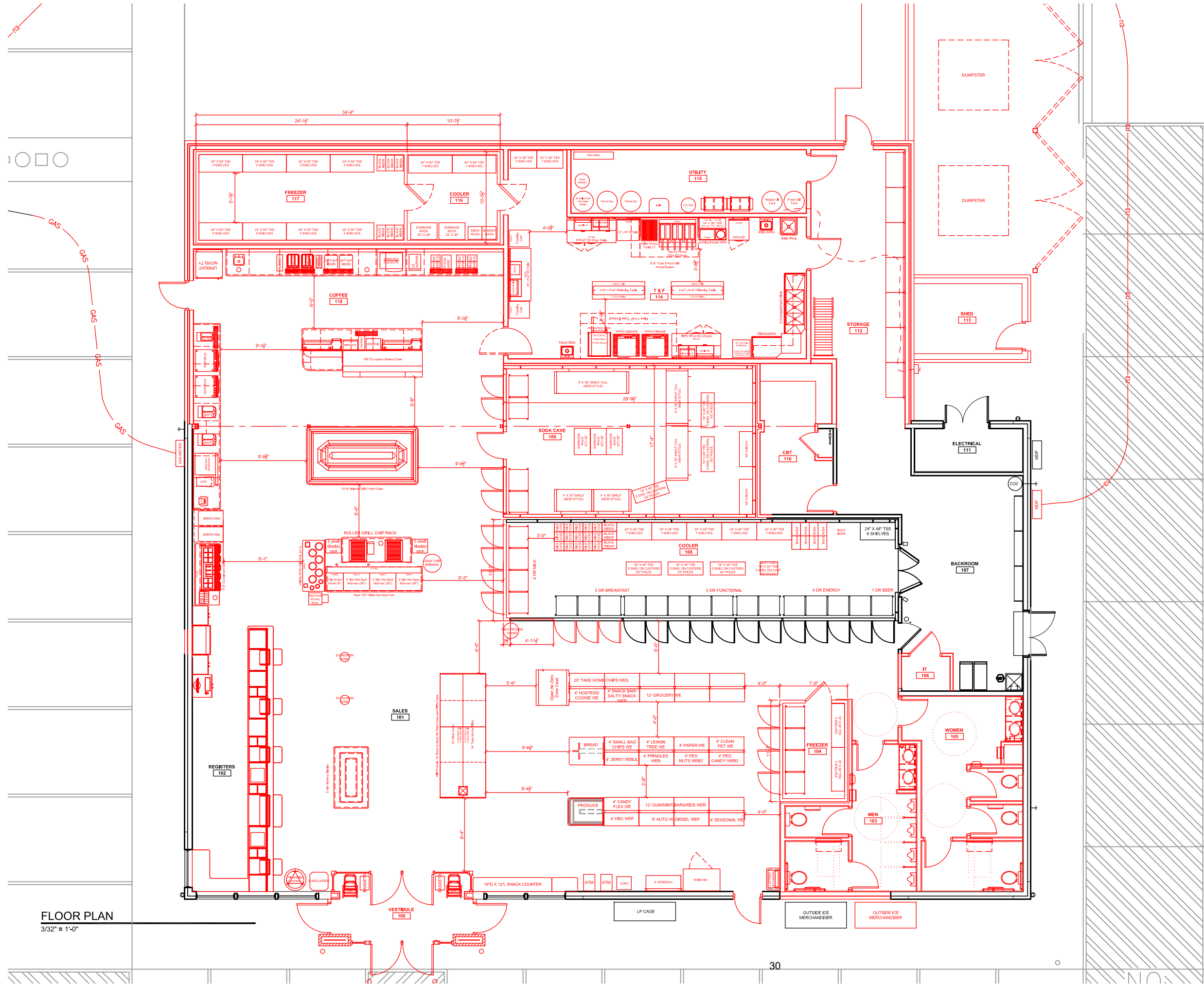
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



FLOOR PLAN
3/32" = 1'-0"

KWIK TRIP

STORES

KWIK STAR

STORES

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

Option #1 - With Beer Cave
CONVENIENCE STORE #424
MERCHANDISING
217 S STATE STREET
FAIRMONT, MN

#	DATE	DESCRIPTION

DRAWN BY: B. Berg
SCALE: 3/32" = 1'-0"
PROJ. NO.: 0001
DATE: 2021-04-28
SHEET: 424



Fairmont City Council
Monday, September 13, 2021

Agenda Item: 9.2

From: Cathy Reynolds, City Administrator
To: Mayor and City Council

Subject: 2021 Improvement Program – Declaring Costs and Ordering the Assessment Roll be Prepared

Policy/Action Requested: Motion to adopt Resolution No. 2021-41, a resolution declaring costs for the 2021 Improvement Program and ordering the assessment roll to be prepared.

Vote Required: Simple Majority Roll Call

Recommendation: Staff recommends approval

Overview:

To meet timelines for the assessments of the 2021 Improvement Program, the Council must adopt a resolution declaring the costs to be assessed for the 2021 Improvement Program and order the preparation of the assessment roll.

Budget Impact: N/A

Attachments: Resolution No. 2021-41

Council Action: _____ Date: _____

RESOLUTION NO. 2021-41

STATE OF MINNESOTA }
COUNTY OF MARTIN } SS
CITY OF FAIRMONT }

RESOLUTION DECLARING COSTS TO BE ASSESSED AND ORDERING PREPARATION OF PROPOSED ASSESSMENTS FOR THE 2021 IMPROVEMENT PROGRAM

WHEREAS, estimated costs have been determined for the improvement of:

<u>Project No.</u>	<u>Description</u>
5721001	<u>RECONSTRUCTION (assessed at \$80/front footage)</u> Fairlakes Avenue: Deadend to Woodland Avenue
6721001	<u>RESURFACE (assessed at \$54/front footage)</u> Fairlakes Avenue: Woodland Avenue to Canyon Drive
6721002	Holland Street: Lucia Avenue to West Anna Street Amber Lake Park Parking Lot
8721001	<u>OVERLAY (assessed at \$32/front footage)</u> Fairlakes Avenue: Lake Avenue to Railroad Tracks* *Original improvement: Lake Avenue to Gravel
8721002	Lake Avenue: Fairlakes Avenue to Bridge
8721003	TH 15 Service Road (W) #1: Deadend to Spruce Street
8721004	TH 15 Service Road (W) #2: East 10 th Street to Winnebago Avenue
7521001	<u>SEAL COAT (assessed at \$2.50/front footage)</u> Albion Avenue: Interlaken Road to Lake Aires Road
7521002	East Amber Lake Drive: Lake Aires Road to Interlaken Road
7521003	East Belle Vue Road: Sylvia Street to South Prairie Avenue
7521004	Burton Lane: Perimeter Drive
7521005	West Interlaken Road: East Amber Lake Drive to Albion Avenue
7521006	Lynn Street: Deadend to East Interlaken Road
7521007	Margaret Street: North North Avenue to Prairie Avenue* *Original improvement: North North Avenue to TH15
7521008	Prairie Avenue: Redbird to E Belle Vue Road
7521009	Red Bird Lane: Deadend to South Prairie Avenue
7521010	4 th Street: North Prairie Avenue to TH 15
7521011	10 th Street: Lake George to North North Avenue
7521012	11 th Street: Lake George to North North Avenue

RESOLUTION NO. 2021-41, continued

City Parking Lot H
Cedar Creek Park Trails
Day Farm Trail
Hobo Trail
Margaret Street Trail
Soccer Field Trail
Whitetail Ridge Trail
Winnebago Avenue Sports Complex
City Parking Lot F
Ward Park Parking Lot

And the estimated contract price for such improvements are \$2,948,625.00 and the expenses incurred or to be incurred in the making of such improvements are estimated at \$405,786.00 so that the total cost of the improvement is estimated at \$3,354,411.00.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FAIRMONT, MINNESOTA:

1. The portion of the cost to be assessed against benefiting property owners for the 2021 projects shall be, per assessable foot, \$80.00 for reconstruction projects, \$54.00 for resurfacing projects, \$32.00 for overlay projects and \$2.50 for seal coat projects.
2. Assessments shall be payable in equal annual installments for projects as follows:
 - Reconstruction and resurfacing projects - 15 years
 - Overlay projects - 10 years
 - Sealcoat projects - 3 yearsAssessments for other miscellaneous projects shall be payable in equal annual installments over the time period outlined in the project's assessment agreement. The first installment is payable on or before the first Monday in January 2022, and shall bear interest at the rate of three percent (3%) per year from the date of adoption of the assessment resolution. Interest and payment term may vary for mowing and miscellaneous assessments.
3. The City Clerk, with the assistance of the City Engineer, shall calculate the proper amount to be specially assessed for such improvement against every assessable lot, piece or parcel of land within the district affected, without regard to cash valuation, as provided by law, and the Clerk shall file a copy of such proposed assessments in the Clerk's office for public inspection.
4. The City Clerk shall upon completion of such proposed assessment, notify the Council thereof.



Fairmont City Council
Monday, September 13, 2021

Agenda Item: 9.3

From: Cathy Reynolds, City Administrator
To: Mayor and City Council

Subject: 2021 Improvement Program – Calling for Assessment Hearing

Policy/Action Requested: Motion to adopt Resolution No. 2021-42, a resolution calling for a hearing on the proposed assessments of the 2021 improvement program

Vote Required: Simple Majority Roll Call

Recommendation: Staff recommends approval

Overview:

The assessment rolls for the 2021 Improvement Program have been completed. A public hearing needs to be held on the proposed assessments. Staff recommends holding a public hearing on Monday, October 11, 2021, at 5:30 pm in the Fairmont City Hall Council Chambers.

Budget Impact: N/A

Attachments: Resolution No. 2021-42 & Public Hearing Notice

Council Action: _____ Date: _____

RESOLUTION NO. 2021-42

STATE OF MINNESOTA }
COUNTY OF MARTIN } SS
CITY OF FAIRMONT }

RESOLUTION CALLING FOR THE HEARING ON PROPOSED ASSESSMENTS OF THE 2021 IMPROVEMENT PROGRAM

WHEREAS, by a resolution of the City Council passed on the 13th day of September, 2021, the City Clerk was directed to prepare a proposed assessment of the cost of improving:

<u>Project No.</u>	<u>Description</u>
	<u>RECONSTRUCTION</u>
5721001	Fairlakes Avenue: Deadend to Woodland Avenue
	<u>RESURFACE</u>
6721001	Fairlakes Avenue: Woodland Avenue to Canyon Drive
6721002	Holland Street: Lucia Avenue to West Anna Street Amber Lake Park Parking Lot
	<u>OVERLAY</u>
8721001	Fairlakes Avenue: Lake Avenue to Railroad Tracks* *Original improvement: Lake Avenue to Gravel
8721002	Lake Avenue: Fairlakes Avenue to Bridge
8721003	TH 15 Service Road (W) #1: Deadend to Spruce Street
8721004	TH 15 Service Road (W) #2: East 10 th Street to Winnebago Avenue
	<u>SEAL COAT</u>
7521001	Albion Avenue: Interlaken Road to Lake Aires Road
7521002	East Amber Lake Drive: Lake Aires Road to Interlaken Road
7521003	East Belle Vue Road: Sylvia Street to South Prairie Avenue
7521004	Burton Lane: Perimeter Drive
7521005	West Interlaken Road: East Amber Lake Drive to Albion Avenue
7521006	Lynn Street: Deadend to East Interlaken Road
7521007	Margaret Street: North North Avenue to Prairie Avenue* *Original improvement: North North Avenue to TH15
7521008	Prairie Avenue: Redbird to E Belle Vue Road
7521009	Red Bird Lane: Deadend to South Prairie Avenue

RESOLUTION NO. 2021-42, continued

7521010 4th Street: North Prairie Avenue to TH 15
7521011 10th Street: Lake George to North North Avenue
7521012 11th Street: Lake George to North North Avenue

City Parking Lot H
Cedar Creek Park Trails
Day Farm Trail
Hobo Trail
Margaret Street Trail
Soccer Field Trail
Whitetail Ridge Trail
Winnebago Avenue Sports Complex
City Parking Lot F
Ward Park Parking Lot

AND WHEREAS, the City Clerk has notified the City Council that such proposed assessment has been completed and filed in the City Clerk’s office for public inspection.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FAIRMONT, MINNESOTA:

1. A hearing shall be held on October 11, 2021, in the Fairmont City Hall Council Chambers, 100 Downtown Plaza, at 5:30 p.m. to pass upon such proposed assessments and all persons owning property affected by such improvement will be given an opportunity to be heard with reference to such assessment.
2. The City Clerk is hereby directed to publish a notice of the hearing on the proposed assessment once in the official newspaper at least two weeks prior to the hearing and the City Clerk shall state in the notice the total cost of the services. The City Clerk shall also mail notices to the owner of each parcel described in the assessment roll not less than two weeks prior to the hearing.

Passed, approved and adopted by the Council this 13th day of September 2021.

Deborah J. Foster, Mayor

ATTEST:

Patricia J. Monsen, City Clerk
(SEAL)

City of Fairmont
Notice of Hearing on Proposed Assessment

TO WHOM IT MAY CONCERN:

Notice is hereby given that the City Council will meet at 5:30 p.m. on the 11th day of October, 2021, at City Hall, 100 Downtown Plaza, to pass upon the proposed assessment against benefiting property for the improvement of:

<u>Project No.</u>	<u>Description</u>
	<u>RECONSTRUCTION (assessed at \$80/front footage)</u>
5721001	Fairlakes Avenue: Deadend to Woodland Avenue
	<u>RESURFACE (assessed at \$54/front footage)</u>
6721001	Fairlakes Avenue: Woodland Avenue to Canyon Drive
6721002	Holland Street: Lucia Avenue to West Anna Street Amber Lake Park Parking Lot
	<u>OVERLAY (assessed at \$32/front footage)</u>
8721001	Fairlakes Avenue: Lake Avenue to Railroad Tracks* *Original improvement: Lake Avenue to Gravel
8721002	Lake Avenue: Fairlakes Avenue to Bridge
8721003	TH 15 Service Road (W) #1: Deadend to Spruce Street
8721004	TH 15 Service Road (W) #2: East 10 th Street to Winnebago Avenue
	<u>SEAL COAT (assessed at \$2.50/front footage)</u>
7521001	Albion Avenue: Interlaken Road to Lake Aires Road
7521002	East Amber Lake Drive: Lake Aires Road to Interlaken Road
7521003	East Belle Vue Road: Sylvia Street to South Prairie Avenue
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7521011	10 th Street: Lake George to North North Avenue
7521012	11 th Street: Lake George to North North Avenue

City Parking Lot H
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Benefiting property includes property abutting or property near to said improvements which utilize the improvements for access or for utility service.

The proposed assessment is on file for public inspection at the City Clerk's office. The total amount of the proposed improvements for all projects is \$3,354,411.00.

Written or oral objections will be considered at the meeting. No appeal may be taken as to the amount of an assessment unless a signed, written objection is filed with the Clerk prior to the hearing or presented to the presiding officer at the hearing. The Council may, upon such notice, consider any objection to the amount of a proposed individual assessment at an adjourned meeting upon such further notice to the affected property owners as it deems advisable.

If an assessment is contested or there is an adjourned hearing, the following procedure will be followed:

1. The City will present its case by calling witnesses who may testify by narrative or by examination, and by the introduction of exhibits. After each witness has testified, the contesting procedure will be repeated with each witness until neither side has further questions.
2. After the City has presented all its' evidence, the objector may call witnesses or present such testimony as the objector desires. The same procedure for questioning of the City's witnesses will be followed with the objection's witnesses.
3. The objector may be represented by counsel.
4. Minnesota rules of evidence will not be strictly applied; however, they may be considered and argued to the Council as to the weight of items, evidence or testimony presented to the Council.
5. The entire proceedings will be tape recorded.
6. At the close of the presentation of evidence, the objector may make a final presentation to the Council based on the evidence and the law. No new evidence may be presented at this point.

An owner may appeal an assessment to district court pursuant to Minnesota Statute Section 429.081 by serving notice of the appeal upon the Mayor or City Clerk within 30 days after the adoption of the assessment and filing such notice with the district court within ten days after service upon the Mayor or City Clerk; however, no appeal may be taken as to the amount of any individual assessment unless a written objection signed by the affected property owner is filed with the City Clerk prior to the assessment hearing or presented to the presiding officer at the hearing.

Under Minnesota Statutes, Sections 435.193 to 435.195, the Council may, in its discretion, defer the payment of this special assessment based on one of the following:

- 1) any homestead property owned by a person 65 years of age or older for whom it would be a hardship to make payments.
- 2) persons retired as a result of a permanent and total disability.
- 3) undeveloped property.

When deferment of the special assessment has been granted and is terminated for any reason provided in the law, all amounts accumulated plus applicable interest becomes due. Any assessed property owner meeting the requirements of this law and the resolution adopted under it may, within thirty days of the confirmation of the assessment, apply to the City Clerk for the prescribed form for such deferral of payment of this special assessment on his/her property.

BY ORDER OF THE FAIRMONT CITY COUNCIL
September 13, 2021

Patricia J. Monsen
City Clerk

To Be Published in the Fairmont Photo Press
Wednesday, September 29, 2021



Fairmont City Council
September 13, 2021

Agenda Item: 9.4

From: Cathy Reynolds
To: Mayor and City Council

Subject: Discussion on Dredging Dutch Creek

Policy/Action Requested: Discussion on the dredging of Dutch Creek.

If desired, motion to direct staff to move forward with the steps necessary to dredge Dutch Creek.

Vote Required: ____ Simple Majority ____ Roll Call

Recommendation: Staff does not recommend dredging Dutch Creek

Overview:

During the Lakes Foundation presentation at the August 23 council meeting the topic of dredging Dutch Creek came up. Since that time, there has continued to be conversation on this topic and staff wants to provide council the opportunity to discuss if they would like to proceed with the work necessary to apply for a permit and complete the dredging of Dutch Creek.

The city is currently working on a Dutch Creek project that includes two aspects. The first is a bioreactor that will help reduce nitrate levels in the creek. This project is located on No Name Creek before it flows into Dutch Creek. The second aspect of the project is to create a natural wetland habitat that will help filter the nutrients flowing through Dutch Creek and into Hall Lake. The work on these projects is being funded by the city's lake restoration fund and 2 grants. The work on these projects is part of the city's effort to address the upstream issues along Dutch Creek to help improve the ultimate quality of the water flowing into Hall Lake.

During the Lakes Foundation presentation, they expressed an interest in dredging the mouth of Dutch Creek. To complete the dredging project a permit would need to be submitted to the DNR for review and approval. The permit is required to be accompanied by a construction plan, disposal plan, topographical survey and volume calculations for the proposed dredging. The DNR would review the permit application in accordance with their rules and regulations. Minnesota Administrative Rule 6115.0200, Excavation of Public Waters, provides in part the following guidance:

Subpart 1. Goals. It is the goal of the department to limit the excavation of materials from the beds of public waters in order to:

- A. preserve the natural character of public waters and their shorelands, in order to minimize encroachment, change, or damage to the environment, particularly the ecosystem of the waters;
- B. regulate the nature, degree, and purpose of excavations so that excavations will be compatible with the capability of the waters to assimilate the excavation; and
- C. control the deposition of materials excavated from public waters and protect and preserve the waters and adjacent lands from sedimentation and other adverse physical and biological effects.

Subpart. 2. Scope. Excavation as used in this part includes any activity that results in the displacement or removal of bottom materials or the widening, deepening, straightening, realigning, or extending of public waters. It may involve proposals for excavations landward or waterward from the ordinary high-water level.

Subpart. 3. Prohibited excavation. Excavation is prohibited in the following cases:

...

F. where the excavation would not provide an effective solution to a problem because of recurrent sedimentation and there are feasible and practical alternative solutions which do not require excavation;

...

Staff has talked to the DNR about what they see as the pros/cons of dredging the mouth of Dutch Creek. They see the pros as the short-term aesthetic value while the cons are the cost to clean and maintain over time. The DNR indicates that this kind of sediment removal provides a short life span that would become a recurring expense without a dramatic change occurring to the sediment load coming from the upstream watershed. Further local DNR officials indicated that they generally don't promote dredging unless it supports navigation, recreation development or public safety.

When asked about the water quality impact of dredging, the DNR notes that the MPCA is the water quality experts, but they see the impact as being overwhelmed by the continued nutrient inflows from the watershed. Dredging Dutch Creek will have little impact on the water quality and the growth of the blue green algae seen in the lakes this year. Blue green algae thrive in the warm nutrient rich water like we have had this year.

Staff's approach to this issue has been the same as that relayed by the DNR in response to inquiries on this topic. Staff has focused efforts on the upstream problem, as with the current projects, and future projects in partnership with SWCD and Martin County, as the majority of the Dutch Creek Watershed lies outside city limits, to address the root cause. Once the root cause has been addressed then the downstream dredging project could be completed with a much longer life span. Staff has viewed this as the best expenditure of city funds and would recommend that we continue to work to address the upstream issues before we dredge the mouth of the Creek. Staff acknowledges that the drought this year has caused the sediment deposit at the mouth of the creek to be more apparent, but do not feel that dredging Dutch Creek at this time is the most cost-effective approach to the problem.

If council wishes to move forward with a project to dredge Dutch Creek, council will need to approve a motion to that effect. Staff would then begin the process to prepare a permit to submit to the DNR for review and approval. A resolution would be prepared and brought back to council for the amendment to the 2021 budget for the work.

Budget Impact:

Lake Restoration Fund, available fund balance: \$330,000

Attachments:

Council Action: _____ Date: _____



Fairmont City Council
September 13, 2021

Agenda Item: 9-5

From: Troy Nemmers, PE – Director of Public Works/City Engineer
To: Mayor and City Council

Subject: Modifying the organizational structure of the water and wastewater departments

Policy/Action Requested: Authorize staff to proceed with hiring a Water Superintendent and a Wastewater Superintendent

Vote Required: Simple Majority Roll Call

Recommendation: The Public Utilities Commission has discussed and is recommending approval.

Overview:

Doug Rainforth has resigned as the Water and Wastewater Superintendent. His last day is September 10th. City staff have been reviewing a transition plan over the past several months as it was anticipated that Doug would be retiring in the near future. Administration met several times with the water and wastewater department employees to discuss the overall structure of the departments and how they should look going into the future. Several options were discussed in addition to the workload demands on each of the facilities. The conclusion from the group was to split the current superintendent position into two separate positions to better manage the operations at each location as well as the different demands of the water and wastewater systems. The city utilized a two-superintendent model in the past.

What do these positions manage?

The water department employs 10 staff, has 83 miles of distribution main, 5 water storage facilities, and operates a lime softening treatment plant. The water plant is permitted as a Class A facility and requires an individual with a Class A water supply system operator certificate to manage the operations.

The wastewater department employs 5 staff, has 75 miles of collection main, 30 lift stations, and operates an activated sludge treatment plant. The wastewater plant is permitted as a Class A facility and requires an individual with a Class A wastewater facility operator certificate to manage the operations.

In addition to the Class A licensure there are numerous state and federal regulations and reporting requirements that each facility has to comply with on top of the daily management of the plant operations, outside operations, future planning, budget, personnel and administration.

Staff had planned to present this option with the 2022 utility budget this fall. However, Doug's resignation has accelerated that plan and staff is looking for approval to move ahead with this change with the recruitment for Doug's successor. Staff has been preparing materials for the recruitment of these positions with a plan to move forward once approval for the two positions is received.

Budget Impact: The additional employee will result in a slight increase in the 2021 budget assuming the city is able to get both positions filled before the end of the year. If the change is authorized, the 2022 proposed utility budget will be presented to the PUC with both positions included.

Attachments:

Council Action: _____ Date: _____