



Phone (507) 238-9461

CITY OF FAIRMONT – 100 Downtown Plaza – Fairmont, MN 56031
www.fairmont.org ♦ citygov@fairmont.org

Fax (507) 238-9469

To: Planning Commission

From: Peter Bode, Planner & Zoning Official

Subject: **Agenda – Regular Meeting**
Tuesday, June 6, 2023 at 5:30 p.m.
City Council Chambers, City Hall, 100 Downtown Plaza

- 1) Approval of Agenda
- 2) Approval of Minutes – May 2, 2023

New Business

- 3) Public Hearing – Preliminary and Final Plat – Fmt. Industrial Park 12th Addn.
- 4) Public Hearing – Planned Unit Development – L1 B1 of Fmt. Industrial Park 12th Addn.

Old Business

None

- 5) Adjournment

MINUTES OF THE FAIRMONT PLANNING COMMISSION

Regular Meeting

May 2, 2023 at 5:30 p.m.

City Council Chambers, City Hall, 100 Downtown Plaza

Members present: Angela Grafstrom, Tom Mesich, Rin Porter

Members absent: Tyler Benschoter, Council Liaison Britney Kawecki

Staff present: City Administrator Cathy Reynolds, Planner & Zoning Official Peter Bode

Chair Mesich called the meeting to order at 5:30 p.m.

Approval of Agenda: Chair Mesich proposed amending the agenda to add a new business item thanking City Administrator Cathy Reynolds. Motion by Porter and second by Grafstrom to approve the agenda as amended. Motion carried.

Approval of Minutes: Motion by Grafstrom and second by Porter to approve the April 4, 2023 minutes as presented. Motion carried.

Public Hearing – Preliminary and Final Plat – Lee Prentice Addition: Chair Mesich opened the public hearing. Bode presented the Lee Prentice Addition preliminary and final plat submitted by American Legion Post 36. Bode stated that staff's findings supported approval of the preliminary and final plat.

There were no public comments.

Motion by Grafstrom and second by Porter to close the public hearing. Motion carried.

Members discussed the proposal.

Motion by Porter and second by Grafstrom to approve and recommend to City Council the Lee Prentice preliminary and final plat as presented. Motion carried.

Thanking City Administrator Cathy Reynolds: Chair Mesich and members thanked City Administrator Reynolds for her service to the Fairmont community. Her ability to provide the Commission with the necessary information upon which to base their decisions was greatly appreciated.

Old Business: *None*

Adjournment: There were no additional agenda items. Chair Mesich adjourned the meeting at 5:44 p.m.

*Respectfully submitted,
Peter Bode*

CITY OF FAIRMONT

Planning & Zoning

Application Form

NOTE TO APPLICANT: This is a comprehensive application form. Only those items related to your specific type of development are to be completed. All items applicable must be included prior to acceptance of the application.

Name of Applicant: Fairmont Growth Opportunity Co. Address: 51 Downtown Plaza Fairmont MN Phone#: [REDACTED]

Street Address of Proposal: 700 Armstrong Drive South Fairmont, MN 56031

Legal Description of Property: Unplatted

Existing Use of Property: Farm Land

Proposed Use of Property: Industrial

Type of Application	Fee	Submission Requirements (Attached)
<input type="checkbox"/> Appeal/Code Amendment	\$150.00	7
<input type="checkbox"/> Administrative Appeal	50.00	8
<input type="checkbox"/> Conditional Use Permit	150.00	4, 6(d-g)
<input type="checkbox"/> Home Occupation Permit	30.00	9
<input type="checkbox"/> Minor Plat	90.00	2(a), 5 (a-b)
<input type="checkbox"/> Planned Unit Development	150.00	1, 4, 6(d-g)
<input checked="" type="checkbox"/> Preliminary Plat	150.00	5 (b), 6
<input type="checkbox"/> Rezoning	150.00	1
<input type="checkbox"/> Variance	90.00	2,3

I HEREBY CERTIFY THAT THE INFORMATION AND EXHIBITS HERewith SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Fairmont Growth Opportunity Co. Director
 Owner's Name(Printed) Owner's Signature

Chris Pierce Director
 Applicant's Name (Printed) Applicant's Signature

City Staff Use Only

DATE FILED: _____

DATE FEE PAID: _____

MEETING DATE: _____

NOTICES SENT (DATE): _____

NOTIFICATION OF EXTENSION (LETTER SENT): _____

PRELIMINARY PLAT
FAIRMONT INDUSTRIAL PARK TWELFTH ADDITION

IN THE N.E. 1/4, N.W. 1/4, SEC. 12, T. 102 N., R. 31 W.,
 CITY OF FAIRMONT, MARTIN COUNTY, MINNESOTA

N.W. COR. SEC. 12,
 FOUND AN IRON MON. WITH
 AN ALUM. CAP IN THE BIT.
 PAVING (SURFACE).

N. 1/4 COR. SEC. 12,
 FOUND AN IRON MON. WITH
 AN ALUM. CAP IN THE PAV-
 ING (SURFACE).

LEGAL DESCRIPTION

That part of the Northeast Quarter of the Northwest Quarter of Section 12, Township 102 North, Range 31 West, City of Fairmont, Martin County, Minnesota, described as follows:
 Beginning at the Southwest corner of Fairmont Industrial Park Seventh Addition, according to the recorded plat thereof; thence on an assumed bearing of South 88 degrees 23 minutes 50 seconds East, along the south line of said plat, a distance of 633.00 feet to the Southeast corner of said plat located on the east line of the Northwest Quarter of said section; thence South 0 degrees 19 minutes 07 seconds West, along said east line, a distance of 917.96 feet to the Southeast corner of the Northeast Quarter of the Northwest Quarter of said section; thence North 88 degrees 23 minutes 26 seconds West, along the south line of said Northeast Quarter of the Northwest Quarter, a distance of 699.00 feet; thence North 0 degrees 19 minutes 07 seconds East a distance of 741.90 feet to the Southwest corner of South Armstrong Drive as platted in the Plat of Fairmont Industrial Park Eleventh Addition, according to the recorded plat thereof; thence South 88 degrees 23 minutes 50 seconds East, along the south line of said South Armstrong Drive, a distance of 66.00 feet to the Southeast corner of said South Armstrong Drive; thence North 0 degrees 19 minutes 07 seconds East, along the east line of said South Armstrong Drive, a distance of 175.98 feet to the point of beginning, containing 14.46 acres, subject to easements now of record in said county and state.

OWNER: FAIRMONT GROWTH OPPORTUNITIES CORPORATION

AREA WITHIN THE PLAT: 14.46 ACRES

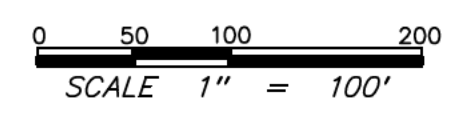
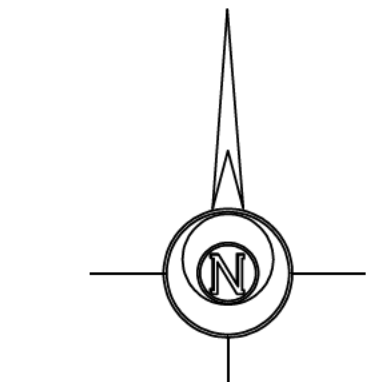
NORMAL BUILDING SETBACK REQUIREMENTS:

- FRONT YARD - 40 FEET
- SIDE YARD - 10% OF LOT WIDTH
(NOT LESS THAN 10 FEET,
NOT MORE THAN 30 FEET)
- REAR YARD - 30 FEET

ZONING: I-1 (LIGHT INDUSTRIAL)

BENCHMARK: ELEVATION 1205.81

SOUTH FLANGE BOLT OF FIRE
 HYDRANT NEAR S.W. COR. OF
 FAIRMONT INDUSTRIAL PARK
 7TH ADDITION.



- DENOTES IRON MONUMENTS FOUND OR SET IN PREVIOUS SURVEYS.
- DENOTES IRON MONUMENTS SET & MARKED WITH REG. NO. 50875 UNLESS OTHERWISE SHOWN.
- DENOTES EXISTING CONTOURS.



FAIRMONT GROWTH
 OPPORTUNITIES CORPORATION

DRAWN S.S.	TEL: (507) 235-3780	PAGE NUMBER 1
CHECK B.M.		FILE NO. 23107
SURVEY BY K.V.		318 EAST BLUE EARTH AVENUE FAIRMONT, MINNESOTA 56031

I HEREBY CERTIFY THAT THIS PLAN, SURVEY,
 OR REPORT WAS PREPARED BY ME OR UNDER
 MY DIRECT SUPERVISION AND THAT I AM A
 DULY LICENSED LAND SURVEYOR UNDER THE
 LAWS OF THE STATE OF MINNESOTA.

Ben Madsen
 BEN MADSEN
 DATE: 5-16-2023 LICENSE NO. 50875

FAIRMONT INDUSTRIAL PARK TWELFTH ADDITION

IN THE N.E. 1/4, N.W. 1/4, SEC. 12, T. 102 N., R. 31 W.,
CITY OF FAIRMONT, MARTIN COUNTY, MINNESOTA

N.W. COR. SEC. 12,
FOUND AN IRON MON. WITH
AN ALUM. CAP IN THE BIT.
PAVING (SURFACE).

N. 1/4 COR. SEC. 12,
FOUND AN IRON MON. WITH
AN ALUM. CAP IN THE PAV-
ING (SURFACE).

INSTRUMENT OF DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That Fairmont Growth Opportunities, a Minnesota Corporation, owner and proprietor of the following described property situated in the City of Fairmont, County of Martin, State of Minnesota, to wit:

That part of the Northeast Quarter of the Northwest Quarter of Section 12, Township 102 North, Range 31 West, City of Fairmont, Martin County, Minnesota, described as follows:

Beginning at the Southwest corner of Fairmont Industrial Park Seventh Addition, according to the recorded plat thereof; thence on an assumed bearing of South 88 degrees 23 minutes 50 seconds East, along the south line of said plat, a distance of 633.00 feet to the Southeast corner of said plat located on the east line of the Northwest Quarter of said section; thence South 0 degrees 19 minutes 07 seconds West, along said east line, a distance of 917.96 feet to the Southeast corner of the Northeast Quarter of the Northwest Quarter of said section; thence North 88 degrees 23 minutes 26 seconds West, along the south line of said Northeast Quarter of the Northwest Quarter, a distance of 699.00 feet; thence North 0 degrees 19 minutes 07 seconds East, a distance of 741.90 feet to the Southwest corner of South Armstrong Drive as platted in the Plat of Fairmont Industrial Park Eleventh Addition, according to the recorded plat thereof; thence South 88 degrees 23 minutes 50 seconds East, along the south line of said South Armstrong Drive, a distance of 66.00 feet to the Southeast corner of said South Armstrong Drive; thence North 0 degrees 19 minutes 07 seconds East, along the east line of said South Armstrong Drive, a distance of 175.98 feet to the point of beginning, containing 14.46 acres, subject to easements now of record in said county and state.

Has caused the same to be surveyed and platted as FAIRMONT INDUSTRIAL PARK TWELFTH ADDITION.

In witness whereof Andrew Noll, President and Sara Pierce, Secretary/Treasurer, have set our hands, on behalf of Fairmont Growth Opportunities, a Minnesota Corporation, this _____ day of _____, 2023.

Andrew Noll, President Sara Pierce, Secretary/Treasurer

STATE OF MINNESOTA }
COUNTY OF MARTIN }

The foregoing instrument of dedication was acknowledged before me this _____ day of _____, 2023, by Andrew Noll, President and Sara Pierce, Secretary/Treasurer, on behalf of Fairmont Growth Opportunities, a Minnesota Corporation.

Notary Public, Martin County, Minnesota
My commission expires _____

SURVEYORS CERTIFICATE

I hereby certify that I have surveyed and platted the property described on this plat as FAIRMONT INDUSTRIAL PARK TWELFTH ADDITION, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown; that the outside boundary lines are correctly designated on the plat and that there are no wet lands as defined in MS 505.02, Subd. 1, or public highways to be designated other than as shown.

Ben Madsen, Land Surveyor
Minnesota Registration No. 50875

SURVEYORS ACKNOWLEDGMENT

STATE OF MINNESOTA }
COUNTY OF MARTIN }

The foregoing Surveyors Certificate was acknowledged before me this _____ day of _____, 2023, by Ben Madsen, Land Surveyor.

Notary Public, Martin County, Minnesota
My Commission expires _____

CITY OF FAIRMONT

We do hereby certify that on this _____ day of _____, 2023, the City Council of Fairmont, Minnesota, approved this plat.

City Clerk Mayor

CITY PLANNING COMMISSION APPROVAL

Be it known that on the _____ day of _____, 2023, the Planning Commission of the City of Fairmont, Martin County, Minnesota, did duly approve this plat of GRONEWALD SUBDIVISION.

Chairperson of the Planning Commission

MARTIN COUNTY AUDITORS TAX STATEMENT

I hereby certify that there are no delinquent taxes and the transfer has been entered on the _____ day of _____, 2023.

Martin County Auditor

MARTIN COUNTY TREASURER

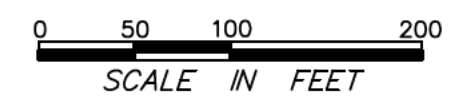
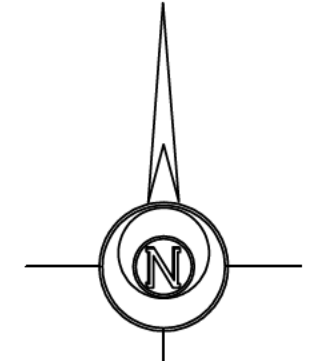
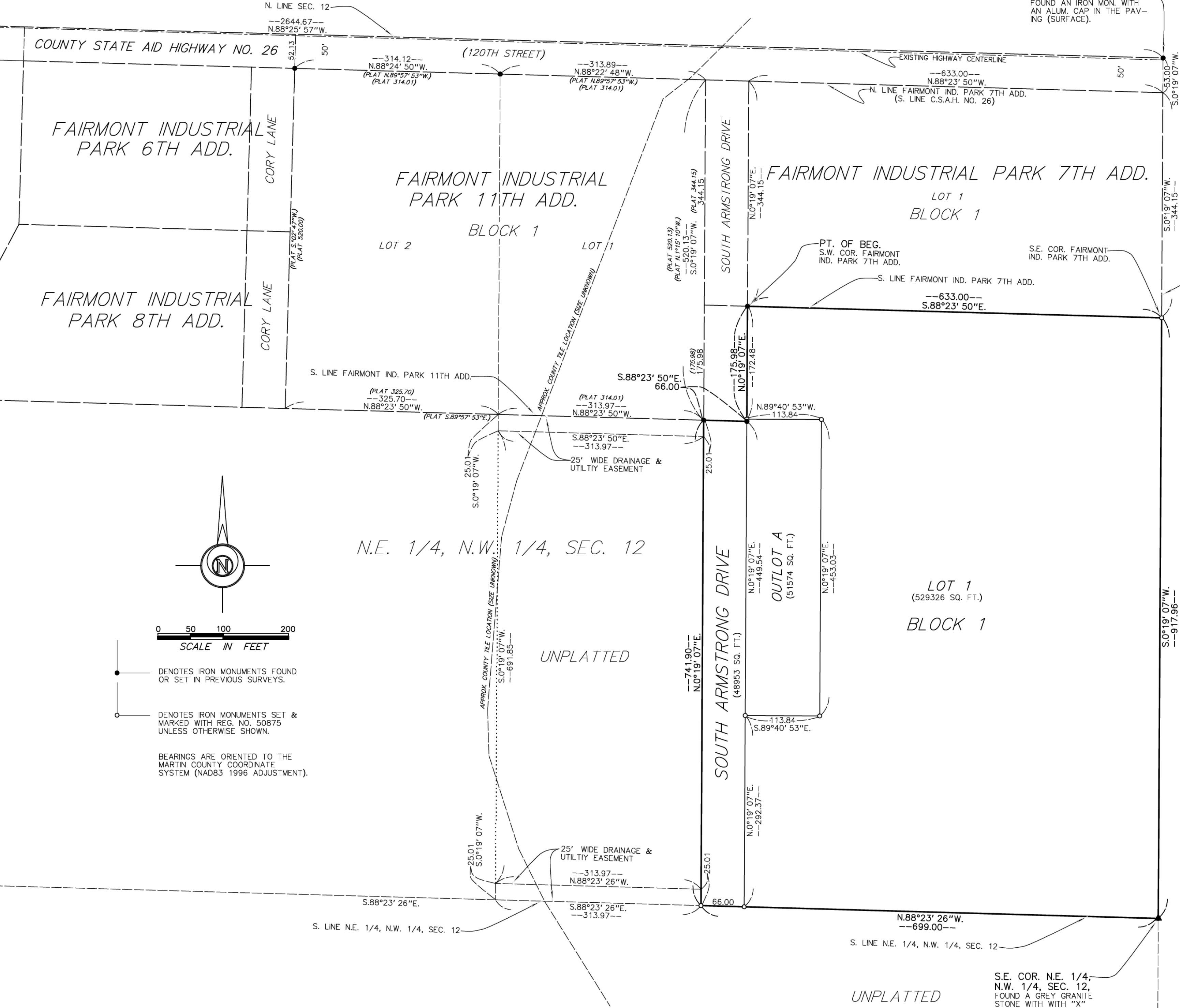
I hereby certify that the current years taxes have been paid in full. Certified on the _____ day of _____, 2023.

Martin County Treasurer

MARTIN COUNTY RECORDER

I hereby certify that this instrument was filed in the Office of the County Recorder for record on the _____ day of _____, 2023, at _____ o'clock _____ M., was duly recorded in Envelope Number _____ and recorded as Document Number _____

Martin County Recorder



- DENOTES IRON MONUMENTS FOUND OR SET IN PREVIOUS SURVEYS.
 - DENOTES IRON MONUMENTS SET & MARKED WITH REG. NO. 50875 UNLESS OTHERWISE SHOWN.
- BEARINGS ARE ORIENTED TO THE MARTIN COUNTY COORDINATE SYSTEM (NAD83 1996 ADJUSTMENT).

W. LINE SEC. 12
N.0°24'53"E.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.

S.0°19'07"W.



**CITY OF FAIRMONT
Planning & Zoning
Application Form**

NOTE TO APPLICANT: This is a comprehensive application form. Only those items related to your specific type of development are to be completed. All items applicable must be included prior to acceptance of the application.

Name of Applicant: Daniel Sprague (Midwest Shop Condos LLC) Address: P.O. Box 426 Phone#: [REDACTED]
Mankato MN 56002

Street Address of Proposal: TBD

Legal Description of Property: Lot 1 Block 1 of Fairmont Industrial Park
Rth Addition

Existing Use of Property: Farm Land

Proposed Use of Property: Shop Condos

Type of Application	Fee	Submission Requirements (Attached)
<input type="checkbox"/> Appeal/Code Amendment	\$150.00	7
<input type="checkbox"/> Administrative Appeal	50.00	8
<input type="checkbox"/> Conditional Use Permit	150.00	4, 6(d-g)
<input type="checkbox"/> Home Occupation Permit	30.00	9
<input type="checkbox"/> Minor Plat	90.00	2(a), 5 (a-b)
<input checked="" type="checkbox"/> Planned Unit Development	150.00	1, 4, 6(d-g)
<input type="checkbox"/> Preliminary Plat	150.00	5 (b), 6
<input type="checkbox"/> Rezoning	150.00	1
<input type="checkbox"/> Variance	90.00	2,3

I HEREBY CERTIFY THAT THE INFORMATION AND EXHIBITS HERewith SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

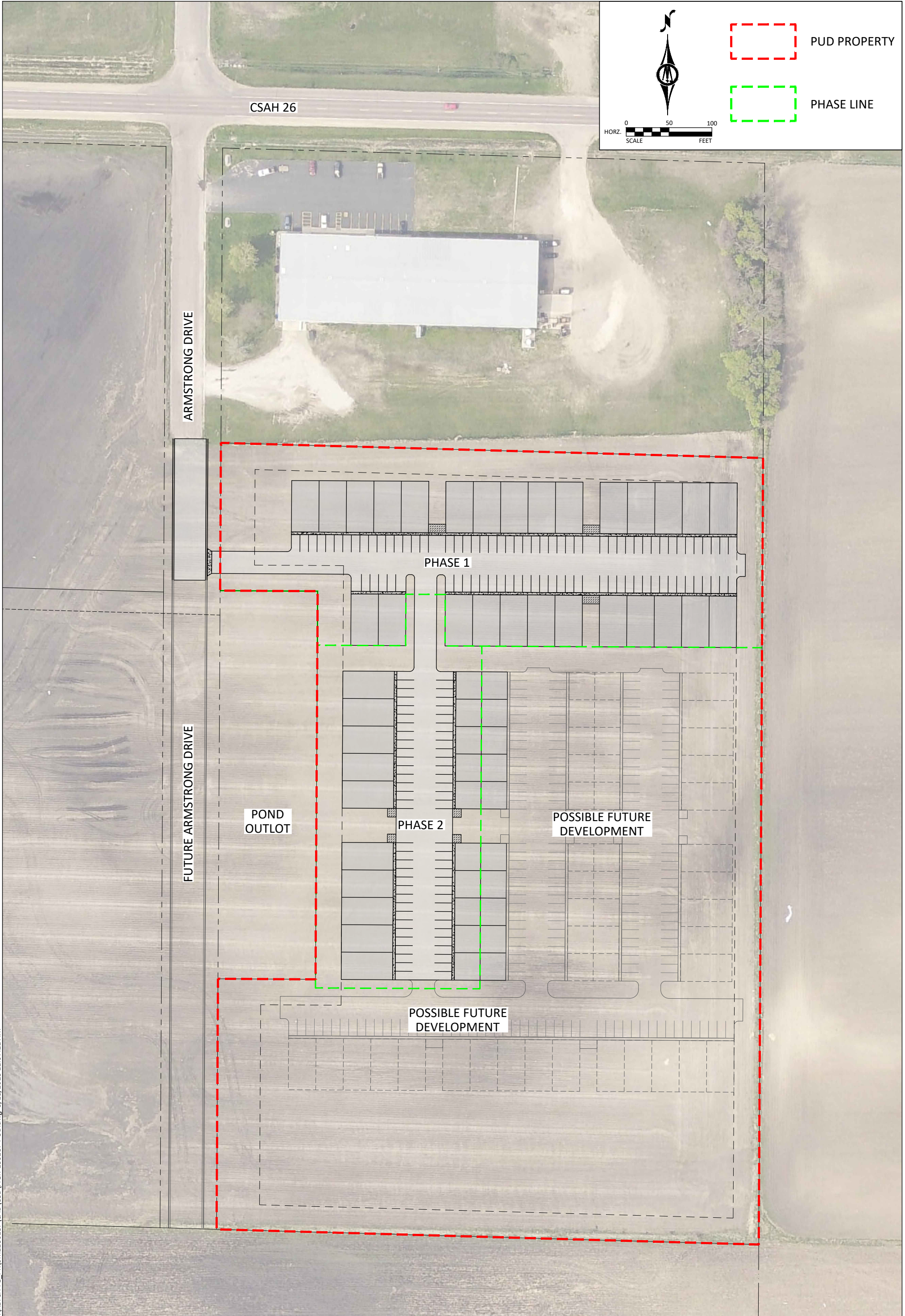
Daniel Sprague
 Owner's Name(Printed)


 Owner's Signature

Daniel Sprague
 Applicant's Name (Printed)


 Applicant's Signature

City Staff Use Only
DATE FILED: _____
DATE FEE PAID: _____
MEETING DATE: _____
NOTICES SENT (DATE): _____
NOTIFICATION OF EXTENSION (LETTER SENT): _____



KEY CITY GROUP, LLC

CONSTRUCTION PLANS FOR

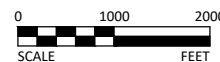
FAIRMONT CONTRACTOR CONDOMINIUMS

FAIRMONT, MN

ROADWAY EXTENSION, PAVEMENT CONSTRUCTION, SITE AND POND GRADING
WATERMAIN, SANITARY SEWER AND STORM SEWER INSTALLATION

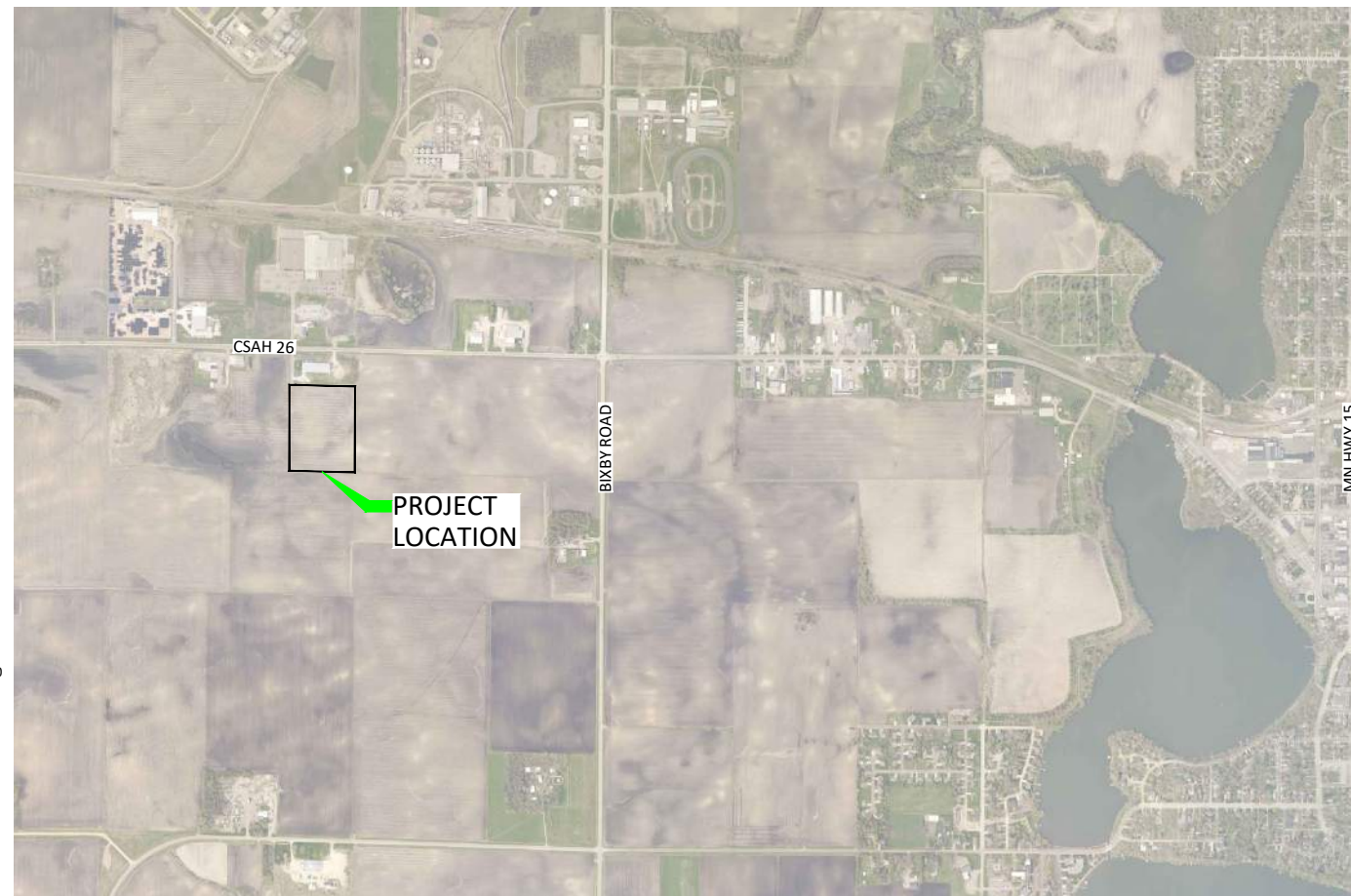
MAY 2023

MAP OF THE
CITY OF FAIRMONT
MARTIN COUNTY, MN



NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY GOPHER STATE ONE CALL, 1-800-252-1166 OR 651-454-0002.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."



SHEET NUMBER	SHEET TITLE
GENERAL	
G0.01 - G0.02	TITLE SHEET & LEGEND
G1.01 - G1.02	PROJECT OVERVIEW
CIVIL - DETAILS & SWPPP	
C0.01	EXISTING CONDITIONS & REMOVAL PLAN
C1.01	SURFACE CONSTRUCTION DETAILS
C1.02	WATERMAIN & SANITARY SEWER DETAILS
C1.03	STORM SEWER DETAILS
STORMWATER POLLUTION PREVENTION PLAN	
C2.01 - C2.05	GENERAL INFORMATION & DETAILS
C2.06 - C2.07	EROSION & SEDIMENT CONTROL PLAN
CIVIL - PUBLIC IMPROVEMENTS	
C3.01 - C3.04	ARMSTRONG DRIVE EXTENSION
C3.05 - C3.06	STORMWATER MANAGEMENT PLAN
CIVIL - PRIVATE IMPROVEMENTS	
GRADING PLAN	
C4.01 - C4.04	GRADING PLAN
SANITARY AND WATER SERVICE PLAN, DRAINAGE PLAN	
C5.01 - C5.03	SANITARY AND WATER PLAN & PROFILES
C5.04	DRAINAGE PLAN
SITE PLAN	
C6.01	SITE PLAN

THIS PLAN SET CONTAINS 30 SHEETS.

NOTE:
THE TOPOGRAPHIC SURVEY FOR THIS PROJECT WAS COMPLETED BY A PARTY OTHER THAN BOLTON & MENK. THIS DESIGN AND PLAN IS BASED ON THE ACCURACY OF THE SURVEY PERFORMED "BY OTHERS"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.			
0M1-130187			

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
TITLE SHEET

SHEET
G0.01

EXISTING TOPOGRAPHIC SYMBOLS

	ACCESS GRATE		REGULATION STATION GAS
	AIR CONDITION UNIT		SATELLITE DISH
	ANTENNA		SIGN NON TRAFFIC
	AUTO SPRINKLER CONNECTION		SIGN TRAFFIC
	BARRICADE PERMANENT		SIGNAL CONTROL CABINET
	BASKETBALL POST		SOIL BORING
	BENCH		SIREN
	BIRD FEEDER		TELEPHONE BOOTH
	BOLLARD		TILE INLET
	BUSH		TILE OUTLET
	CATCH BASIN RECTANGULAR CASTING		TILE RISER
	CATCH BASIN CIRCULAR CASTING		TRANSFORMER-ELECTRIC
	CURB STOP		TREE-CONIFEROUS
	CLEAN OUT		TREE-DEAD
	CULVERT END		TREE-DECIDUOUS
	DRINKING FOUNTAIN		TREE STUMP
	DOWN SPOUT		TRAFFIC ARM BARRIER
	FILL PIPE		TRAFFIC SIGNAL
	FIRE HYDRANT		TRASH CAN
	FLAG POLE		UTILITY MARKER
	FLARED END / APRON		VALVE
	FUEL PUMP		VALVE POST INDICATOR
	GRILL		VALVE VAULT
	GUY WIRE ANCHOR		VAULT
	HANDHOLE		VENT PIPE
	HANDICAP SPACE		WATER SPIGOT
	IRRIGATION SPRINKLER HEAD		WELL
	IRRIGATION VALVE BOX		WETLAND DELINEATED MARKER
	LIFT STATION CONTROL PANEL		WETLAND
	LIFT STATION		WET WELL
	LIGHT ON POLE		YARD HYDRANT
	LIGHT-GROUND		
	MAILBOX		

PROPOSED TOPOGRAPHIC SYMBOLS

	CLEANOUT
	MANHOLE
	LIFT STATION
	STORM SEWER CIRCULAR CASTING
	STORM SEWER RECTANGULAR CASTING
	STORM SEWER FLARED END / APRON
	STORM SEWER OUTLET STRUCTURE
	STORM SEWER OVERFLOW STRUCTURE
	CURB BOX
	FIRE HYDRANT
	WATER VALVE
	WATER REDUCER
	WATER BEND
	WATER TEE
	WATER CROSS
	WATER SLEEVE
	WATER CAP / PLUG
	RIP RAP
	DRAINAGE FLOW
	TRAFFIC SIGNS

SURVEY SYMBOLS

	BENCHMARK LOCATION
	CONTROL POINT
	MONUMENT FOUND
	CAST IRON MONUMENT
	STONE MONUMENT

EXISTING TOPOGRAPHIC LINES

	RETAINING WALL
	FENCE
	FENCE-DECORATIVE
	GUARD RAIL
	TREE LINE
	BUSH LINE

SURVEY LINES

	CONTROLLED ACCESS BOUNDARY
	CENTERLINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY
	SETBACK LINE
	SECTION LINE
	QUARTER LINE
	SIXTEENTH LINE
	TEMPORARY EASEMENT

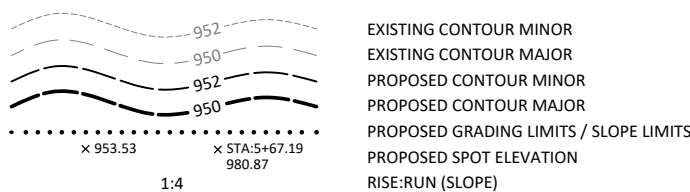
EXISTING UTILITY LINES

	FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATERMAIN
	WATER SERVICE

PROPOSED UTILITY LINES

	FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATERMAIN
	WATER SERVICE
	PIPE CASING

GRADING INFORMATION



HATCH PATTERNS

	BITUMINOUS		GRAVEL
	CONCRETE		

EXISTING PRIVATE UTILITY LINES

NOTE:
EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY GOPHER STATE ONE CALL, 1-800-252-1166 OR 651-454-0002.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

	UNDERGROUND FIBER OPTIC
	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND COMMUNICATION
	OVERHEAD ELECTRIC
	OVERHEAD COMMUNICATION
	OVERHEAD UTILITY

UTILITIES IDENTIFIED WITH A QUALITY LEVEL:

LINE TYPES FOLLOW THE FORMAT: UTILITY TYPE - QUALITY LEVEL
EXAMPLE: G-A UNDERGROUND GAS, QUALITY LEVEL A
UTILITY QUALITY LEVEL (A,B,C,D) DEFINITIONS CAN BE FOUND IN CI/ASCE 38-02.

UTILITY QUALITY LEVELS:

QUALITY LEVEL D: PROVIDES THE MOST BASIC LEVEL OF INFORMATION. IT INVOLVES COLLECTING DATA FROM EXISTING UTILITY RECORDS. RECORDS MAY INCLUDE AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICES MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM DATABASES, CONSTRUCTION PLANS, ETC.

QUALITY LEVEL C: INVOLVES SURVEYING VISIBLE SUBSURFACE UTILITY STRUCTURES SUCH AS MANHOLES, HAND-HOLES, UTILITY VALVES AND METERS, FIRE HYDRANTS, PEDESTALS AND UTILITY MARKERS, AND THEN CORRELATING THE INFORMATION WITH EXISTING UTILITY RECORDS TO CREATE COMPOSITE DRAWINGS. INCLUDES QUALITY LEVEL D ACTIVITIES.

QUALITY LEVEL B: INVOLVES DESIGNATING THE HORIZONTAL POSITION OF SUBSURFACE UTILITIES THROUGH SURFACE DETECTION METHODS AND COLLECTING THE INFORMATION THROUGH A SURVEY METHOD. INCLUDES QUALITY LEVEL C AND D TASKS.

QUALITY LEVEL A: PROVIDES THE HIGHEST LEVEL OF ACCURACY. IT INVOLVES LOCATING OR POTHOLING UTILITIES AS WELL AS ACTIVITIES IN QUALITY LEVELS B, C, AND D. THE LOCATED FACILITY INFORMATION IS SURVEYED AND MAPPED AND THE DATA PROVIDES PRECISE PLAN AND PROFILE INFORMATION.

ABBREVIATIONS

A	ALGEBRAIC DIFFERENCE	GRAV	GRAVEL	RSC	RIGID STEEL CONDUIT
ADJ	ADJUST	GU	GUTTER	RT	RIGHT
ALT	ALTERNATE	GV	GATE VALVE	SAN	SANITARY SEWER
B-B	BACK TO BACK	HDPE	HIGH DENSITY POLYETHYLENE	SCH	SCHEDULE
BIT	BITUMINOUS	HH	HANDHOLE	SERV	SERVICE
BLDG	BUILDING	HP	HIGH POINT	SHLD	SHOULDER
BMP	BEST MANAGEMENT PRACTICE	HWL	HIGH WATER LEVEL	STA	STATION
BR	BEGIN RADIUS	HYD	HYDRANT	STD	STANDARD
BV	BUTTERFLY VALVE	I	INVERT	STM	STORM SEWER
CB	CATCH BASIN	K	CURVE COEFFICIENT	TC	TOP OF CURB
C&G	CURB AND GUTTER	L	LENGTH	TE	TEMPORARY EASEMENT
CIP	CAST IRON PIPE	LO	LOWEST OPENING	TEMP	TEMPORARY
CIPP	CURED-IN-PLACE PIPE	LP	LOW POINT	TNH	TOP NUT HYDRANT
CL	CENTER LINE	LT	LEFT	TP	TOP OF PIPE
CL	CLASS	MAX	MAXIMUM	TYP	TYPICAL
CLVT	CULVERT	MH	MANHOLE	VCP	VITRIFIED CLAY PIPE
CMP	CORRUGATED METAL PIPE	MIN	MINIMUM	VERT	VERTICAL
C.O.	CHANGE ORDER	MR	MID RADIUS	VPC	VERTICAL POINT OF CURVE
COMM	COMMUNICATION	NIC	NOT IN CONTRACT	VPI	VERTICAL POINT OF INTERSECTION
CON	CONCRETE	NMC	NON-METALLIC CONDUIT	VPT	VERTICAL POINT OF TANGENT
CSP	CORRUGATED STEEL PIPE	NTS	NOT TO SCALE	WM	WATERMAIN
DIA	DIAMETER	NWL	NORMAL WATER LEVEL		
DIP	DUCTILE IRON PIPE	OHW	ORDINARY HIGH WATER LEVEL		
DWY	DRIVEWAY	PC	POINT OF CURVE	AC	ACRES
E	EXTERNAL CURVE DISTANCE	PCC	POINT OF COMPOUND CURVE	CF	CUBIC FEET
ELEC	ELECTRIC	PE	PERMANENT EASEMENT	CV	COMPACTED VOLUME
ELEV	ELEVATION	PED	PEDESTRIAN, PEDESTAL	CY	CUBIC YARD
EOF	EMERGENCY OVERFLOW	PERF	PERFORATED PIPE	EA	EACH
ER	END RADIUS	PERM	PERMANENT	EV	EXCAVATED VOLUME
ESMT	EASEMENT	PI	POINT OF INTERSECTION	LB	POUND
EX	EXISTING	PL	PROPERTY LINE	LF	LINEAR FEET
FES	FLARED END SECTION	PRC	POINT OF REVERSE CURVE	LS	LUMP SUM
F-F	FACE TO FACE	PT	POINT OF TANGENT	LV	LOOSE VOLUME
FF	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE PIPE	SF	SQUARE FEET
F&I	FURNISH AND INSTALL	PVMT	PAVEMENT	SV	STOCKPILE VOLUME
FM	FORCEMAIN	R	RADIUS	SY	SQUARE YARD
FO	FIBER OPTIC	R/W	RIGHT-OF-WAY		
F.O.	FIELD ORDER	RCP	REINFORCED CONCRETE PIPE		
GRAN	GRANULAR	RET	RETAINING		

© Bolton & Menk, Inc. 2023. All Rights Reserved. P:\M\130187\CD\130187.dwg 5/12/2023 7:23:34 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
ALEX W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
AWP			
MS			
CLIENT PROJ. NO.	0M1.130187		

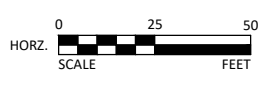
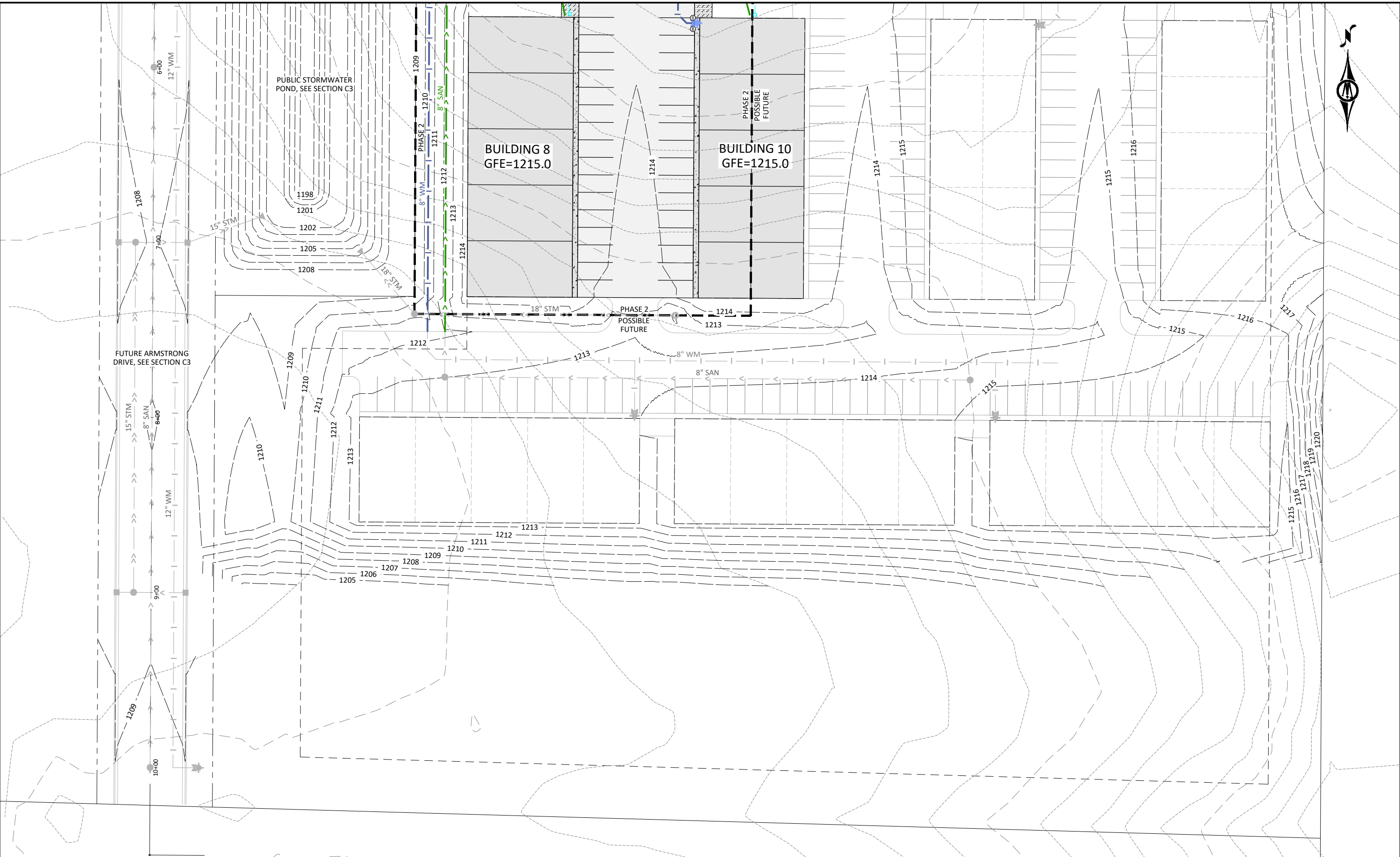
KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS

LEGEND

SHEET

G0.02

© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\MECT115_P\DWG\130187\G01.dwg 5/15/2023 7:23:52 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
ALEX W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX

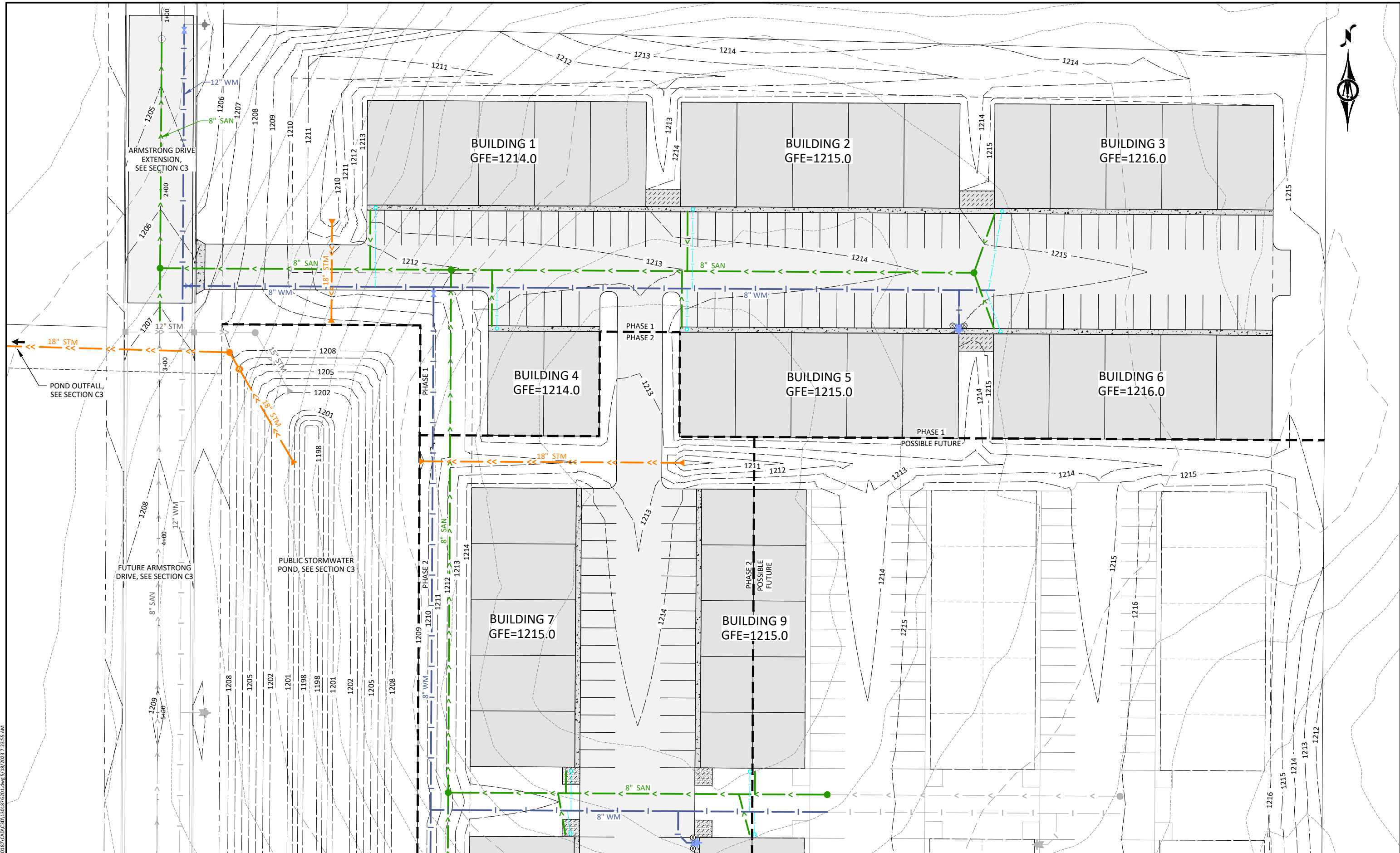


1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

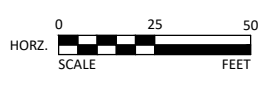
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
PROJECT OVERVIEW

SHEET
G1.01



© Bolton & Menk, Inc. 2023. All Rights Reserved.
 A:\MCT\116_P\116_P\116_P\116_P\116_P.dwg 5/12/2023 7:23:55 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

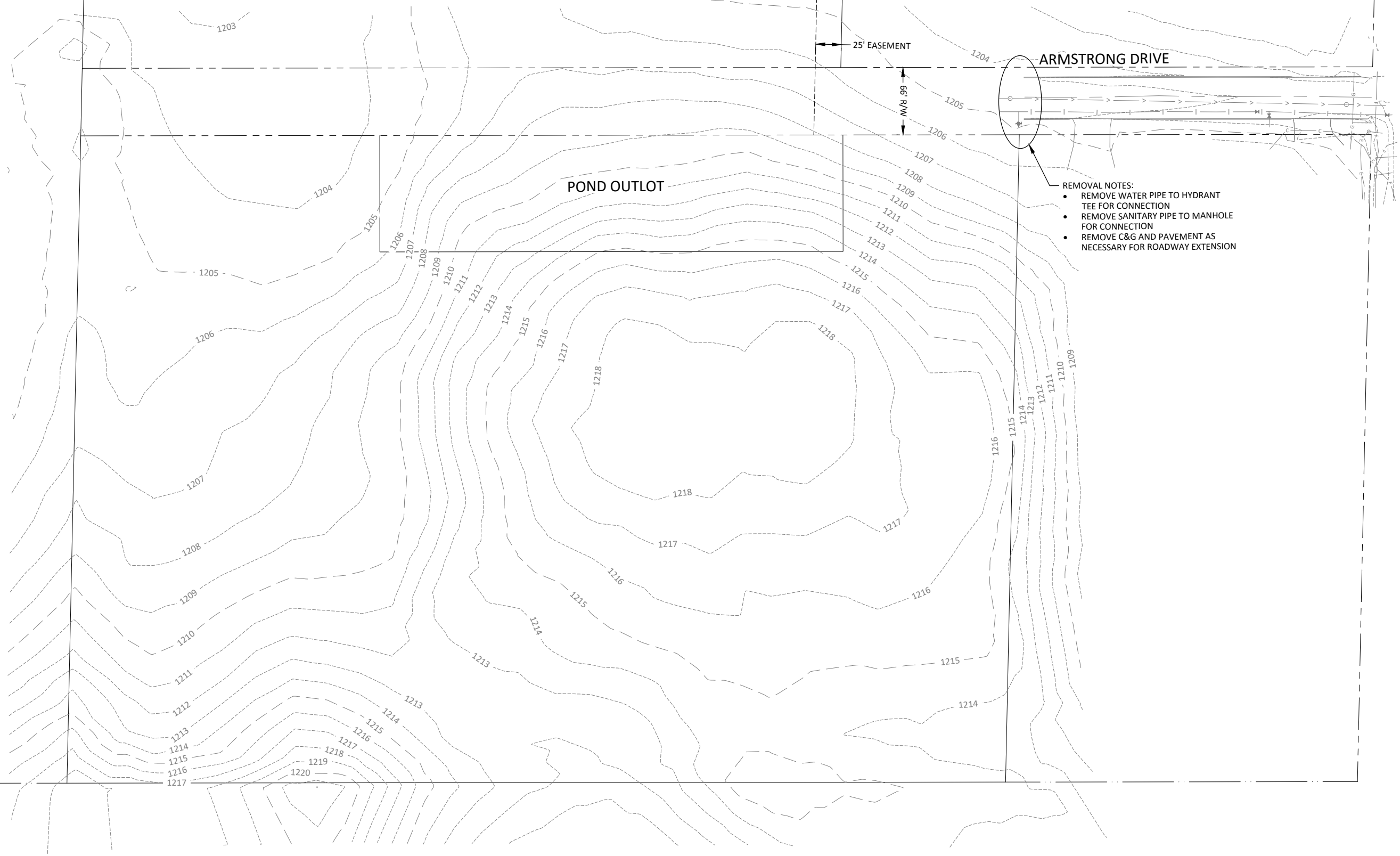


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

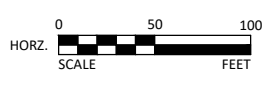
KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 PROJECT OVERVIEW

SHEET
G1.02



- REMOVAL NOTES:
- REMOVE WATER PIPE TO HYDRANT TEE FOR CONNECTION
 - REMOVE SANITARY PIPE TO MANHOLE FOR CONNECTION
 - REMOVE C&G AND PAVEMENT AS NECESSARY FOR ROADWAY EXTENSION

© Bolton & Menk, Inc. 2023. All Rights Reserved. PROJECT: 19101130187/001.dwg 5/15/2023 7:24:06 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX

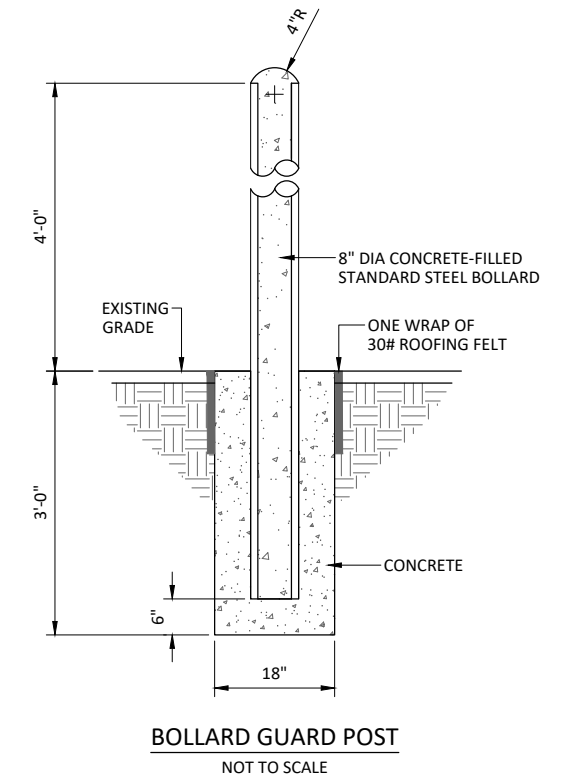
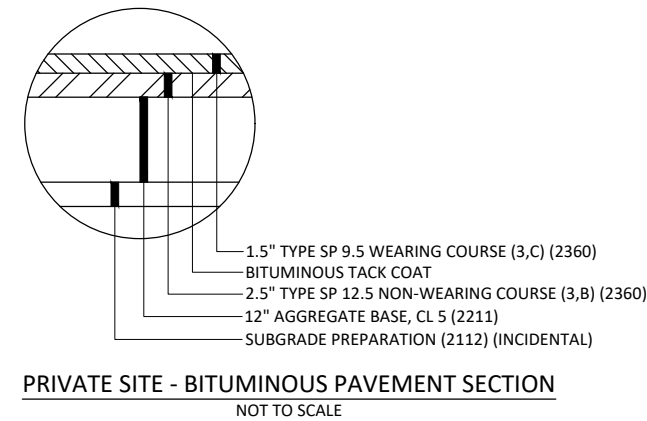
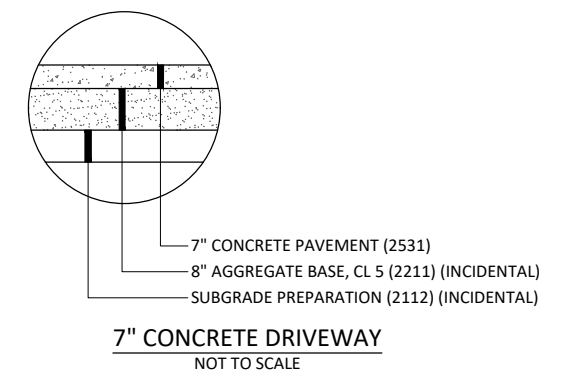
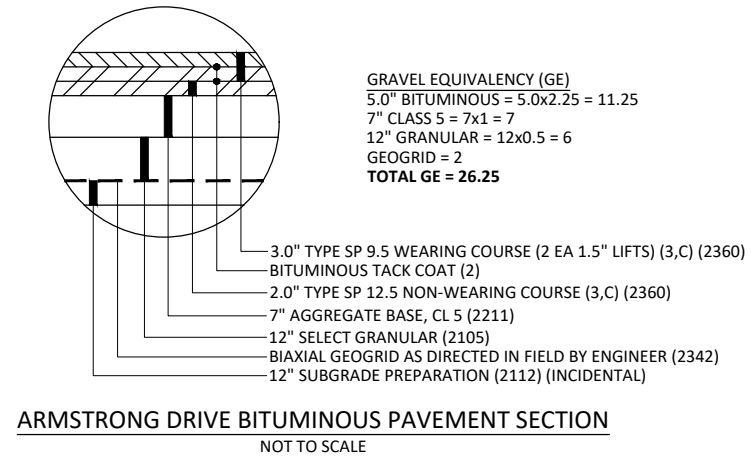
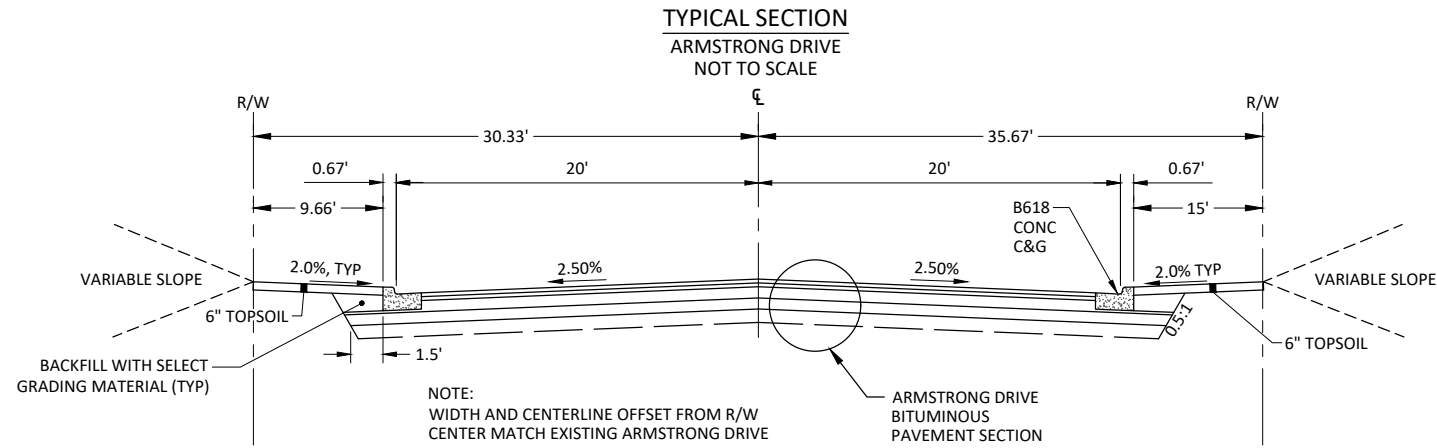


1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
EXISTING CONDITIONS & REMOVAL PLAN

SHEET
C0.01



© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\PROJECTS_P\191\191\191\191\191.dwg 5/15/2023 7:24:15 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

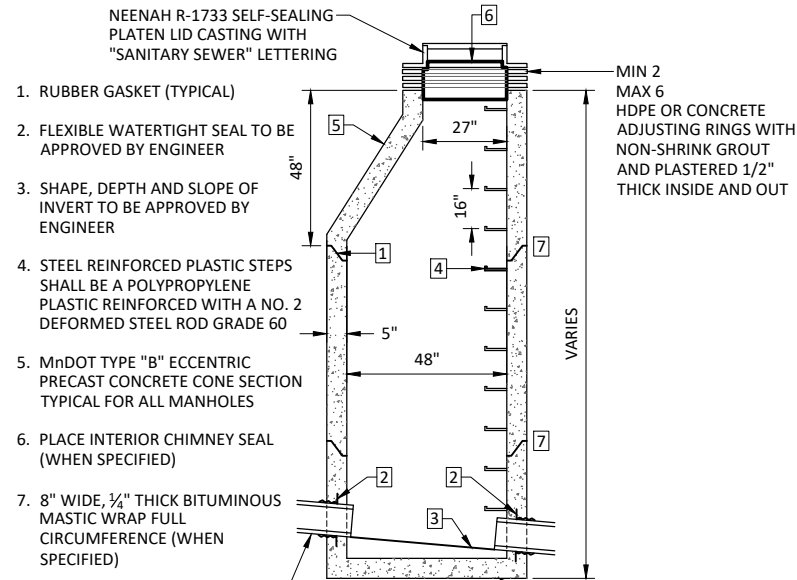


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

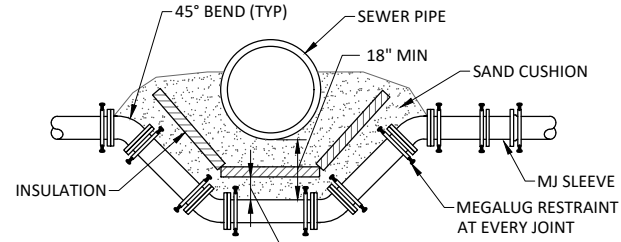
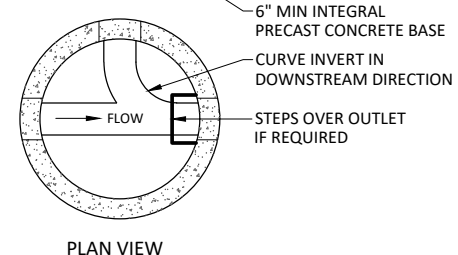
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1-130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 SURFACE CONSTRUCTION DETAILS

SHEET
C1.01

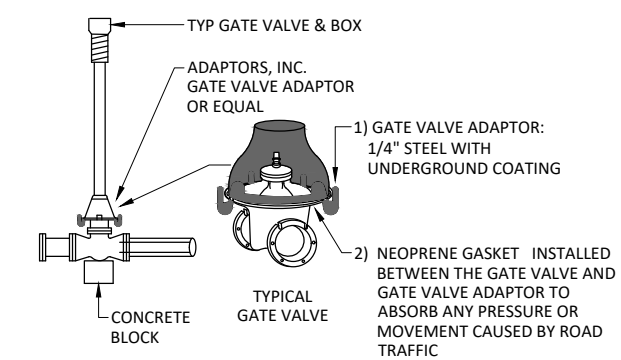


SANITARY MANHOLE (MNDOT DESIGN 4007C)
NOT TO SCALE

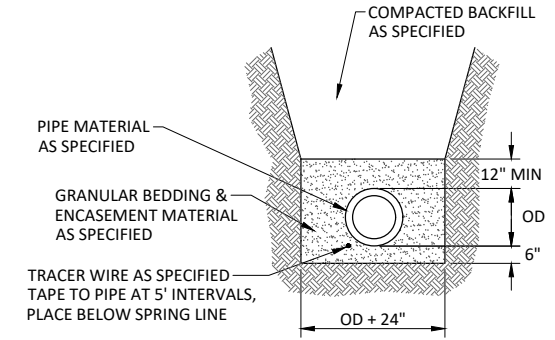


- NOTES:
- PROVIDE MEGALUG RESTRAINT AT JOINT ON BENDS AND AS SHOWN THIS DETAIL
 - COAT ALL ANCHORAGE AS PER SPECS
 - PROVIDE SAND CUSHION BETWEEN TOP OF WATERMAIN AND BOTTOM OF SEWER PIPE, MIN DIMENSIONS AS SHOWN THIS DETAIL (INCIDENTAL)
 - INSULATION TO BE 2" THICK POLYSTYRENE (IF NECESSARY, INCIDENTAL)

WATERMAIN OFFSET
NOT TO SCALE



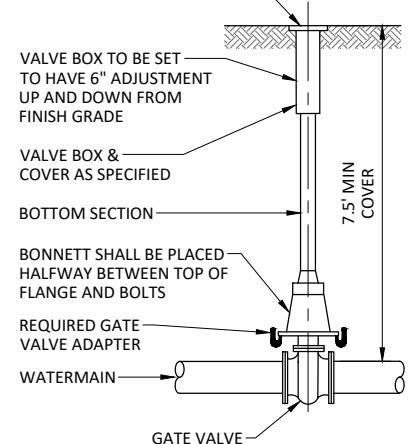
GATE VALVE ADAPTOR
NOT TO SCALE



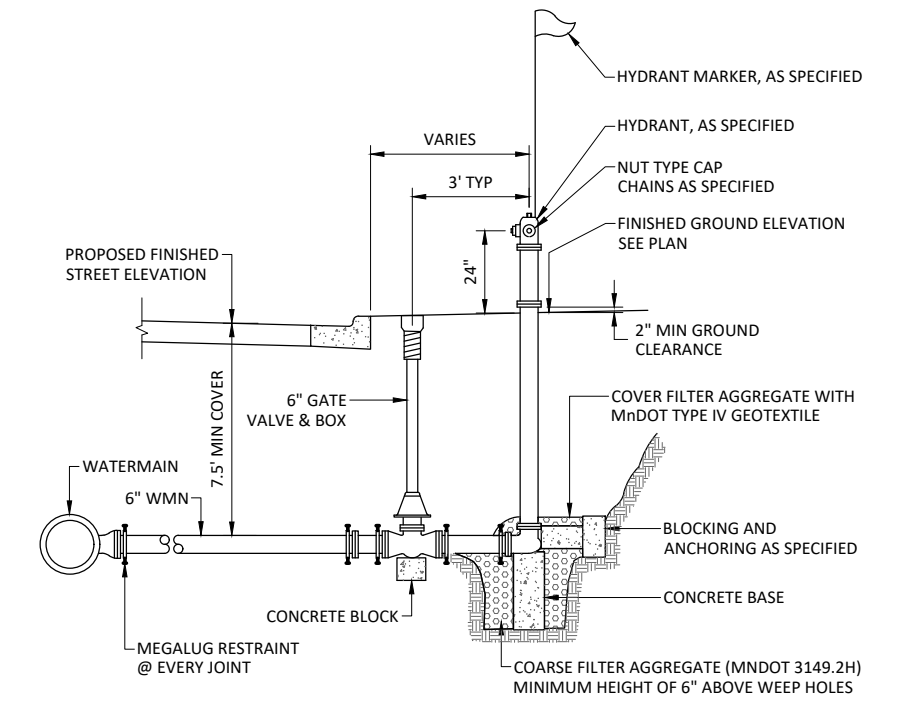
PVC WATERMAIN TRENCH
NOT TO SCALE

- NOTES:
- VALVE BOX SHALL BE CENTERED ON OPERATING NUTS, STRAIGHT, FREE FROM DEBRIS, AND ALL SECTIONS UNBROKEN
 - VALVES IN EASEMENTS SHALL HAVE CHANNEL POST WITNESS MARKERS WITH REFLECTIVE "GV" SIGN
 - DEEP VALVES SHALL HAVE NUT EXTENSIONS INSTALLED TO ELEVATION TO ACCOMMODATE STANDARD 10" KEY; BOTTOM NUT SHALL BE BOLTED TO VALVE NUT AND ONLY ONE SECTION
 - COMPACTION WITH MECHANICAL TAMPER AROUND VALVE BOX SHALL BE PLACED AND COMPACTED WITH 2' LIFTS TO ACHIEVE 95% COMPACTION
 - GATE VALVES LOCATED WITHIN THE CONCRETE SIDEWALK SHALL INCLUDE A METAL SEPARATOR BETWEEN THE VALVE BOX AND THE CONCRETE

VALVE BOX SETTING TO BE 1/2" BELOW BASE OR WEAR COURSE AND AT GRADE IN TURF

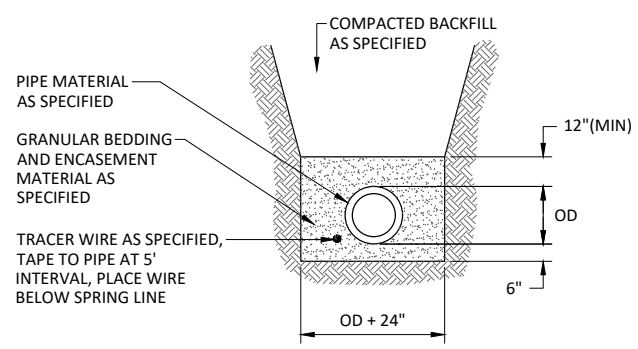


GATE VALVE BOX INSTALLATION
NOT TO SCALE

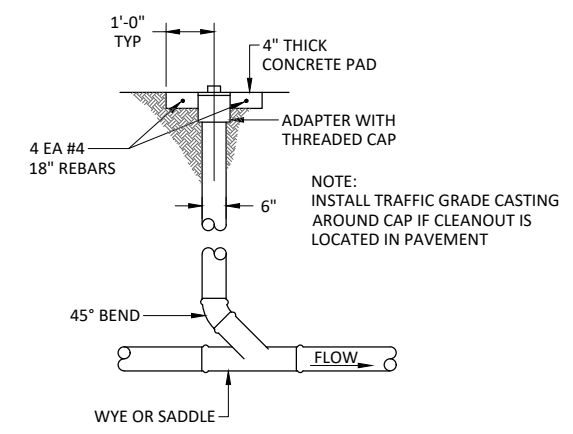


HYDRANT INSTALLATION, MEGALUGS
NOT TO SCALE

HYDRANTS LOCATED WHERE THE GROUNDWATER TABLE IS ABOVE THE DRAIN OUTLET SHALL HAVE THE OUTLET DRAIN PLUGGED AND SHALL BE EQUIPPED WITH A TAG STATING "PUMP AFTER USE"



NON-RIGID SANITARY SEWER TRENCH
NOT TO SCALE



SANITARY SEWER CLEANOUT
NOT TO SCALE

TRACER WIRE NOTE:
REFER TO THE MINNESOTA RURAL WATER ASSOCIATION (MRWA) TRACER WIRE SPECIFICATION GUIDE & DETAILS TO PROPERLY INSTALL TRACER WIRE WITH WATERMAIN AND SANITARY SEWER. THE GUIDE CAN BE FOUND AT: mrwa.com/tools.html - Tracer Wire Specification Guide & Details

© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\PROJECTS_P\BOLTON\BOLTON\BOLTON.dwg 12/15/2023 7:24:15 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX

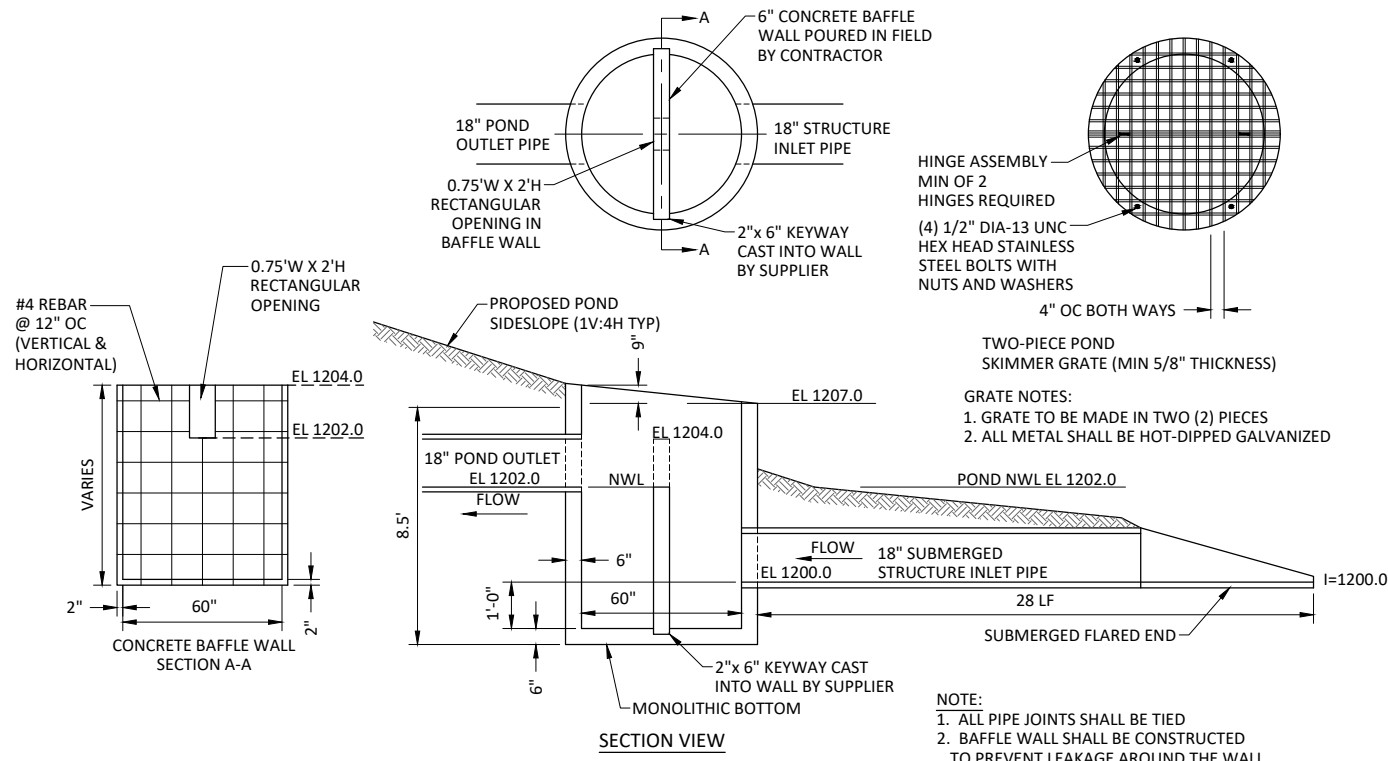


1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

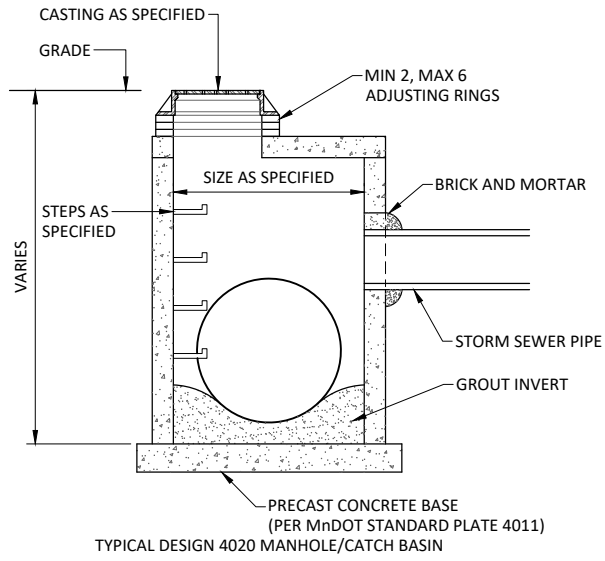
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
WATERMAIN & SANITARY SEWER DETAILS

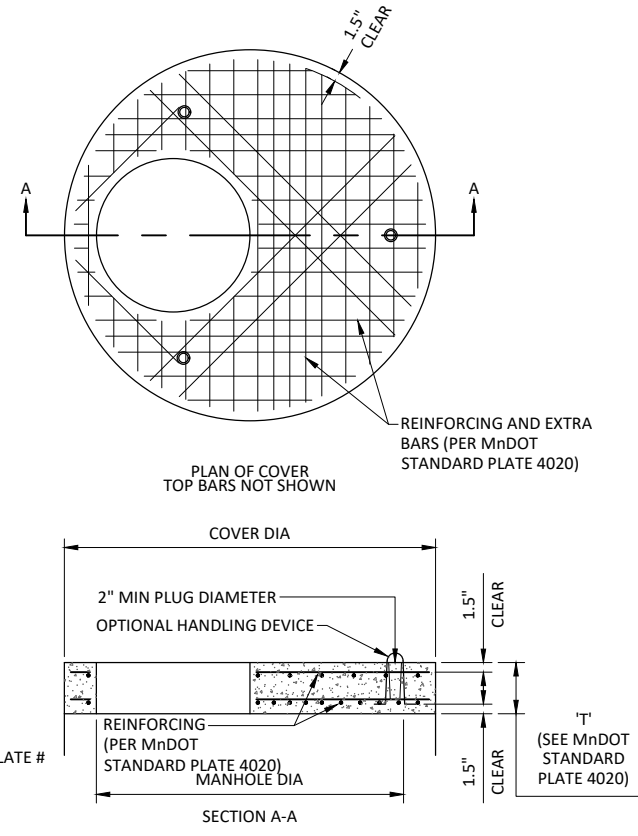
SHEET
C1.02



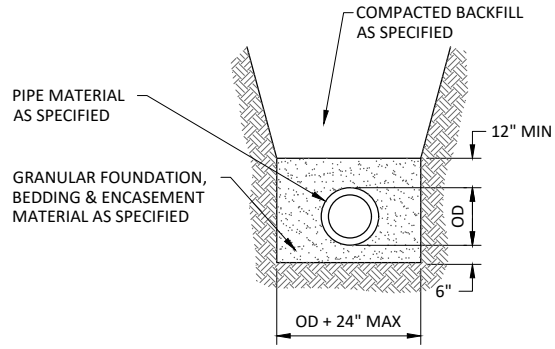
**PRECAST CONCRETE POND SKIMMER STRUCTURE
STRUCTURE SPECIAL 1 (C-3)**
NOT TO SCALE



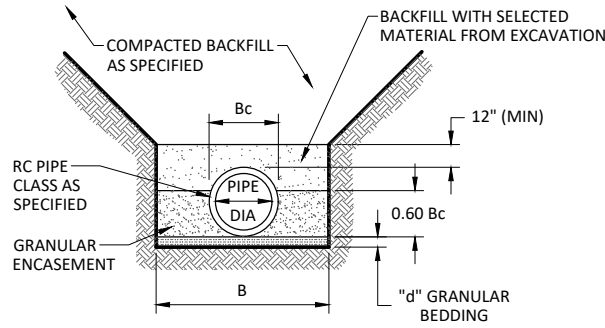
- NOTES:**
- AASHTO HS 25 LOADING MAX FILL HEIGHT 15'
 - THE # 4020 SHALL BE PERMANENTLY MARKED ON THE TOP COVER
 - EQUIVALENT STEEL AREAS IN WIRE MESH MAY BE USED
 - REINFORCEMENT PER SPEC 3301, GRADE 60 A SINGLE HOOP OF 8ga STEEL WIRE
- DESIGNATION:
DESIGN DIAMETER - STANDARD PLATE #
DESIGN 48-4020



STORM SEWER STRUCTURE DESIGN 4020
NOT TO SCALE



NON-RIGID STORM SEWER TRENCH
NOT TO SCALE



PIPE DIA	d	B
27" OR LESS	3"	Bc + 24"
30" TO 60"	4"	1.5 x Bc
66" OR OVER	6"	Bc + 36"

**RC PIPE
CLASS "B" BEDDING-SQUARE TRENCH**
NOT TO SCALE

© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\MCT\116_P\116M\310287\CAD\C310301B\F101.dwg 5/15/2023 7:24:17 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
STORM SEWER DETAILS

SHEET
C1.03

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

FAIRMONT CONTRACTOR CONDOMINIUMS
CITY OF FAIRMONT
MARTIN COUNTY, MINNESOTA



LEGEND

- 1-MILE BOUNDARY
- PROJECT BOUNDARY
- NATIONAL WETLANDS INVENTORY

PROJECT AREAS:

Total Project Size (disturbed area) =	6.9	ACRES
Existing area of impervious surface =	0.0	ACRES
Post construction area of impervious surface =	3.8	ACRES
Total new impervious surface area created =	3.8	ACRES

Planned Construction Start Date:	July 2023
Estimated Construction Completion Date:	TBD

PERMANENT STORMWATER MANAGEMENT SYSTEM:

Type of storm water management used if more than 1 acre of new impervious surface is created:

X	Wet Sedimentation Basin
	Infiltration/Filtration
	Regional Pond
	Permanent Stormwater Management Not Required

PROJECT LOCATION:

COUNTY	TOWNSHIP	RANGE	SECTION	LATITUDE	LONGITUDE
Martin	T102N	R31W	12	43.6577° N	94.5041° W

BMP SUMMARY	QUANTITY	UNIT
STABILIZED CONSTRUCTION EXIT	1	LUMP SUM
PERIMETER CONTROL	2650	LIN FT
SEED MIX 25-141, FERTILIZE, & MULCH	0.35	ACRE
SEED MIX 25-151, FERTILIZE, & MULCH	2.30	ACRE
SEED MIX 33-261, FERTILIZE, & MULCH	0.40	ACRE
EROSION CONTROL BLANKET CATEGORY 20	6050	SQ YD
STORM DRAIN INLET PROTECTION	4	EACH
RANDOM RIPRAP CLASS III	60	CU YD

NOTE: QUANTITIES LISTED ACCOUNT FOR ONE INSTALLATION. ADDITIONAL INSTALLATIONS MAY BE REQUIRED DUE TO MAINTENANCE AND PHASING, THESE ADDITIONAL INSTALLATIONS SHALL BE CONSIDERED INCIDENTAL.

DESCRIPTION OF CONSTRUCTION ACTIVITIES AND STORMWATER MANAGEMENT:

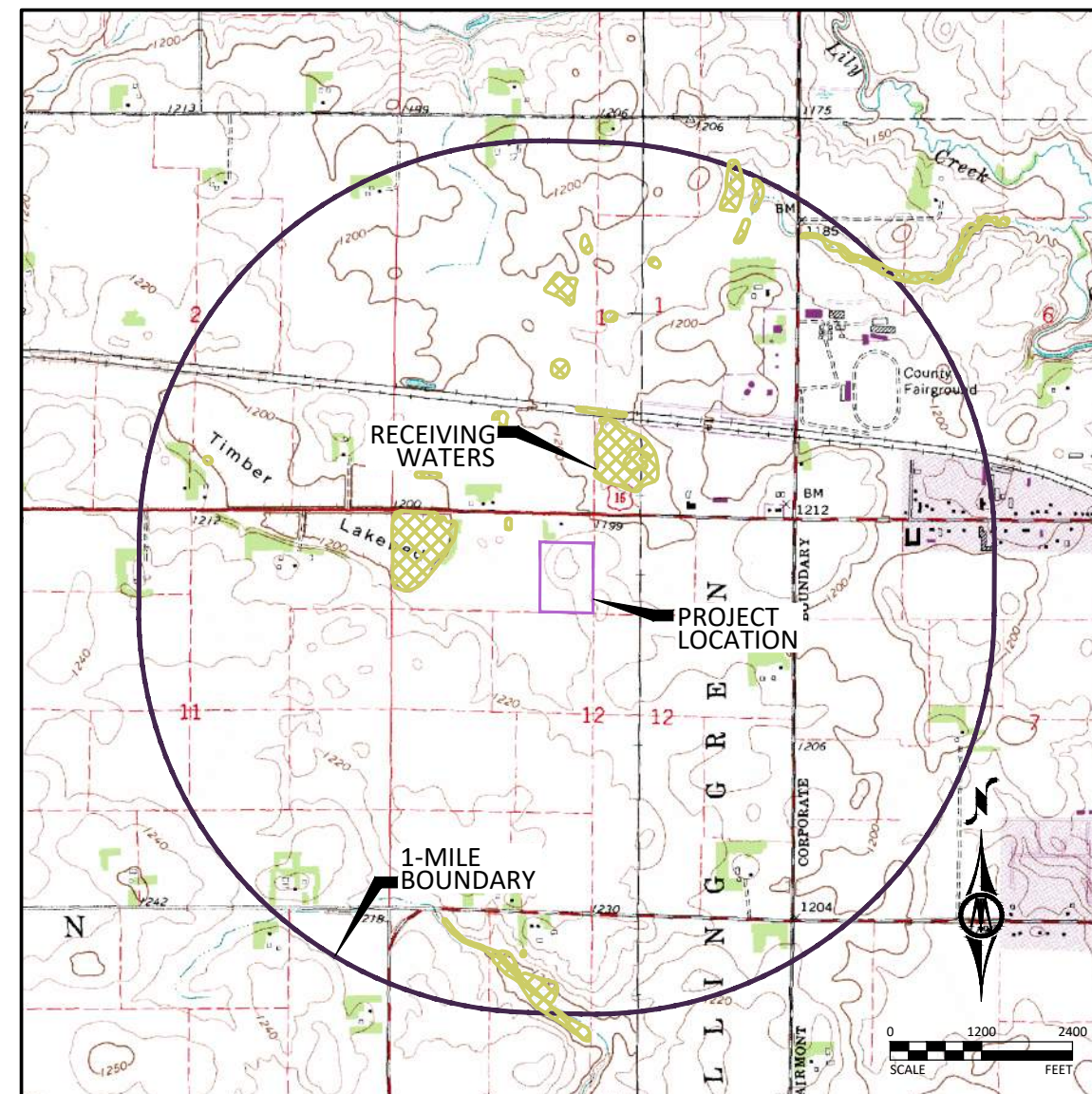
Construction activities include: Road construction, site grading, sanitary sewer and water main installation, pond excavation, storm sewer installation, temporary erosion and sediment control, and permanent stabilization.

Stormwater currently drains by overland flow on farmland in four general directions within the site. An existing tile system west of the site collects a large portion of the stormwater and other areas discharge to public right-of-way, a private site, and other adjacent farmland.

This project will be constructed in multiple phases and an overall stormwater management plan was developed in the full-build scenario. Most of the proposed drainage in the full-build scenario will be routed to the planned pond to treat the stormwater and attenuate the peak flow. The pond will ultimately discharge to the mentioned tile system west of the property.

The listed impervious area with this project includes the currently proposed phase. The anticipated full-build impervious area is approximately 7.9 acres and the pond is sized for this.

A copy of the SWPPP must remain on site at all times. Any modifications to the SWPPP must be approved by the Engineer.



RECEIVING WATERS: Receiving waters, including surface water, wetlands, Public Waters, and stormwater ponds, within 1-mile of the project boundary are identified on the USGS 7.5 min quad map above. Receiving waters that are impaired, the impairment, and WLA are listed as follows. All specific BMPs relative to construction activities listed in the permit for special, prohibited, restricted, or impaired have been incorporated into this plan. All specific BMPs listed in approved TMDLs and those BMPs listed for construction related waste load allocations have also been incorporated.

NAME OF WATER BODY	TYPE (ditch, pond, wetland, lake, etc.)	Special, Prohibited, Restricted Water ¹	Flows to Impaired Water Within 1-Mile ²	USEPA Approved Construction Related TMDL ³
Unnamed Wetland	Wetland	No	No	N/A

¹ Special, prohibited, and restricted waters are listed in Section 23 of the MN Construction Stormwater General Permit (MNR100001).

² Identified as impaired under section 303 (d) of the federal Clean Water Act for phosphorus, turbidity, TSS, dissolved oxygen, and/or aquatic biota.

³ Construction Related TMDLs include those related to: phosphorus, turbidity, TSS, dissolved oxygen, and/or aquatic biota.

IMPLEMENTATION SCHEDULE AND PHASING: The Contractor is required to provide an updated schedule and site management plan meeting the minimum requirements of Section 1717 of the Minnesota Standard Specifications for Construction.

- Submit SWPPP Updates to Engineer. Submittal shall include any requested changes to the SWPPP, including but not limited to: Trained Personnel, Locations for Stockpiles, Concrete Washout, Sanitation Facilities, Types and Locations of Erosion & Sediment Control. Failure to submit updates shall be considered acceptance of the SWPPP as designed with no changes.
- Install perimeter sediment control, inlet protection, and construction exit.
- Remove existing surfaces as required.
- Complete site and utility improvements.
- Install additional inlet protection as needed.
- Reestablish turf.
- Repeat steps 2-6 as necessary throughout the project.
- Add additional temporary BMPs as necessary during construction based on inspection reports.
- Ensure final stabilization measures are complete.
- Provide digital copy of all Field SWPPP Documentation including Inspection Reports and SWPPP Revisions to the Owner.
- Submit Notice of Termination (NOT) to MPCA. NOTE: The NOT must be submitted to MPCA before Final Stabilization is considered complete.

RESPONSIBLE PARTIES:

The Contractor and Owner will be joint applicants under the MPCA's General Stormwater Permit for Construction Activity as required by the National Pollutant Discharge Elimination System (NPDES) Phase II program.

The Contractor shall provide one or more trained Construction SWPPP Manager(s) knowledgeable and experienced in the application of erosion prevention and sediment control BMPs that will oversee the implementation of the SWPPP, and the installation, inspection and maintenance of the erosion prevention and sediment control BMPs.

A Construction SWPPP Manager must be available for an on-site inspection within 72 hours upon request by the MPCA.

	COMPANY	CONTACT PERSON	PHONE
PRIVATE IMPROVEMENTS OWNER:	Key City Group, LLC	Dan Sprague	507-380-2718
PUBLIC IMPROVEMENTS OWNER:	City of Fairmont	Tyler Cowing	507-238-3948
SWPPP DESIGNER:	Bolton & Menk, Inc.	Alec Pietz, P.E.	507-625-4171
CONTRACTOR:	TBD	TBD	TBD
CONSTRUCTION SWPPP MANAGER:	TBD	TBD	TBD
PARTY RESPONSIBLE FOR LONG TERM O&M (PRIVATE IMPROVEMENTS):	Key City Group, LLC	Dan Sprague	507-380-2718
PARTY RESPONSIBLE FOR LONG TERM O&M (PUBLIC IMPROVEMENTS):	City of Fairmont	Tyler Cowing	507-238-3948

The SWPPP Designer, Construction SWPPP Manager, and BMP Installer must have appropriate training. Documentation showing training commensurate with the job duties and responsibilities is required to be included in the SWPPP prior to any work beginning on the site. Training documentation for the SWPPP Designer is included on the Narrative sheet. The Contractor shall attach training documentation to this SWPPP for the Construction SWPPP Manager and BMP Installer prior to the start of construction. This information shall be kept up to date until the project NOT is filed.

ADDITIONAL COMPENSATION

Payment for all work associated with Erosion and Sediment Control shall be as described in the Project Manual. Unless otherwise authorized by the Owner no additional payment shall be made for any work required to administer and maintain the site erosion and sediment control in compliance with the Minnesota Pollution Control Agency (MPCA) - General Stormwater Permit for Construction Activity (MN R100001) including but not limited to inspection, maintenance, and removal of BMPs or addition of BMPs to accommodate Contractor phasing.

DOCUMENT RETENTION

Permittees must make the SWPPP, including all inspection reports, maintenance records, training records and other information required by this permit, available to federal, state, and local officials within three (3) days upon request for the duration of the permit and for three (3) years following the NOT.

GENERAL STORMWATER DISCHARGE REQUIREMENTS

All requirements listed in Section 5.1 of the Permit for the design of the permanent stormwater management system and discharge have been included in the preparation of this SWPPP. These include but are not limited to:

- The expected amount, frequency, intensity, and duration of precipitation.
- The nature of stormwater runoff and run-on at the site
- Peak flow rates and stormwater volumes to minimize erosion at outlets and downstream channel and stream bank erosion.
- The range of soil particle sizes expected to be present on the site.

Permanent stormwater treatment systems for this project have been designed in accordance with the guidance in the MN Stormwater Manual in place at the time of bidding. Copies of the design information and calculations are part of this SWPPP and will be provided in digital format upon written request to the Engineer.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
AWP			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
STORMWATER POLLUTION PREVENTION PLAN
PROJECT INFORMATION AND LOCATION MAP

SHEET

C2.01

Information contained in this SWPPP narrative sheet summarizes requirements of the GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PROGRAM - Permit No: MN RI00001 (Permit) as they apply to this project. All provisions of the Permit including those not specifically cited herein shall apply to this project. The Contractor is responsible to be familiar with and comply with all conditions of the permit. The full text of the Permit is available at: <https://www.pca.state.mn.us/sites/default/files/wq-strm2-80a.pdf>

SWPPP AMENDMENTS AND SUBMITTALS

Contractor must prepare and submit to the Engineer a SWPPP amendment as necessary to include additional Best Management Practices (BMPs) to correct problems identified or address the following situations.

1. Contact information and training documentation for Construction SWPPP Manager and BMP Installer,
2. There is a change in construction method of phasing, operation, maintenance, weather or seasonal conditions not anticipated during the design of the SWPPP including but not limited to:
 - a. Types and/or Locations of BMPs
 - b. Material Storage and Spill Response
 - c. Fueling Plans
 - d. Locations for Stockpiles, Concrete Washout, and Sanitation Facilities and
 - e. Project Phasing
3. It is determined that the SWPPP is not achieving objectives of minimizing pollutants in stormwater discharges associated with construction activity, or
4. The SWPPP is not consistent with the terms and conditions of the permit.

The Contractor may implement SWPPP amendments immediately and is not required to wait for Engineer review of the submittal. The responsibility for completeness of SWPPP amendments and compliance with the Permit lies with the Contractor. Review, comment, or lack of comment by the Engineer on a SWPPP amendment shall not absolve the responsibilities of the Contractor in any way.

If a change order is issued for a design change the SWPPP amendment will be prepared by the Engineer and included in the change order.

In addition to SWPPP amendments, the Contractor shall submit to the Engineer Weekly Erosion and Sediment Control Schedule meeting the requirements of MnDOT 1717.

The Contractor shall keep copies of all SWPPP amendments, Weekly Erosion and Sediment Control Schedules, inspection logs, and maintenance logs with the field copy of the SWPPP. A PDF copy of these documents will be provided along with a copy of the final Field Copy of the SWPPP to the Engineer along with the signed Notice of Termination when final stabilization is complete.

EROSION PREVENTION PRACTICES

Stormwater conveyance channels shall be routed around unstabilized areas. Erosion controls and velocity dissipation devices shall be used at outlets within and along the length of any constructed conveyance channel.

The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Temporary or permanent ditches or swales used as sediment containment during construction do not need to be stabilized during temporary period of use and shall be stabilized within 24 hours after no longer used as sediment containment.

Mulch, hydromulch, tackifier, or similar practice shall not be used in any portion of the wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent.

Energy dissipation shall be installed at all temporary or permanent pipe outlets within 24 hours of connection to a surface water or permanent stormwater treatment system.

The Contractor shall phase construction and use construction methods to the extent practical to minimize exposed soils. The project phasing shall be documented in the Weekly Erosion and Sediment Control Schedule.

SEDIMENT CONTROL PRACTICES

Down gradient BMPs including perimeter BMPs must be in place before up gradient land- disturbing activities begin and shall remain in place until final stabilization.

All BMPs that have been adjusted or removed to accommodate short-term activities shall be re-installed or replaced the earlier of the end of the work day or before the next precipitation event even if the activity is not complete.

Inlet BMPs may be removed for specific safety concerns. The BMPs shall be replaced as soon as the safety concern is resolved. The removal shall be documented in the SWPPP as a SWPPP amendment.

Temporary stockpiles must have sediment control BMPs. The Contractor shall prepare and submit to the Engineer a SWPPP amendment showing the location of temporary stockpiles and the BMPs for each stockpile. The SWPPP amendment must meet the minimum requirements of Section 9 of the Permit.

Soil compaction shall be minimized and topsoil shall be preserved, unless infeasible or if construction activities dictate soil compaction or topsoil stripping.

The use of polymers, flocculants, or other sedimentation treatment chemicals are not proposed as part of this SWPPP as designed by the Engineer. If methods or phasing of construction require the use of any of these chemicals, the Contractor shall prepare and submit to the Engineer a SWPPP amendment that meets the minimum requirements of Section 9 of the Permit.

TEMPORARY SEDIMENTATION BASINS

A temporary sedimentation basin has not been included in this SWPPP as designed by the Engineer. If a basin is later determined to be desirable or necessary the Contractor shall prepare and submit to the Engineer a SWPPP amendment. Temporary sedimentation basins shall meet or exceed the minimum requirements of Section 14 of the Permit and shall include a basin draining plan meeting or exceeding the minimum requirements of Section 10 of the Permit. Where the site discharges to Special and/or Impaired Waters the SWPPP amendment shall also meet or exceed the minimum requirements of Section 23 of the permit.

DEWATERING

A dewatering plan has not been included in this SWPPP as designed by the Engineer. If dewatering is required for this project, the Contractor shall prepare and submit to the Engineer a SWPPP amendment. All dewatering shall meet or exceed the minimum requirements of Section 10 of the Permit.

POLLUTION PREVENTION

Products and materials that have the potential to leach pollutants that are stored on the site must be stored in a manner designed to minimize contact with stormwater. Materials that are not a source of potential contamination to stormwater or that are designed for exposure to stormwater are not required to be covered.

Hazardous materials including but not limited to pesticides, fertilizer, petroleum products, curing compounds and toxic waste must be properly stored and protected from stormwater exposure as recommended by the manufacturer in an access restricted area.

Solid waste must be stored, collected and disposed of in compliance with Minnesota Administrative Rules Chapter 7035.

Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. CH 7041.

Exterior vehicle or equipment washing on the project site shall be limited to a defined area of the site. No engine degreasing is allowed on site. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

The Contractor shall prepare and submit a SWPPP amendment detailing the location and BMPs proposed for storage of materials, solid waste, portable toilets, and exterior vehicle or equipment washing on the site. The SWPPP amendment shall include a spill prevention and response plan that is appropriate for the materials proposed to be on the site. The SWPPP amendment shall meet or exceed the minimum requirements of Section 12 of the Permit.

INSPECTION & MAINTENANCE

A trained person shall routinely inspect the entire construction site at the time interval indicated on this sheet of the SWPPP during active construction and within 24-hours after a rainfall event greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24-hours after a rainfall event, the next inspection must be conducted at the time interval indicated in the Receiving Waters Table found on the SITE PLAN AND INFORMATION SHEET of the SWPPP.

All inspections and maintenance conducted during construction must be recorded on the day it is completed and must be retained with the SWPPP. Inspection report forms are available in the Project Specifications. Inspection report forms other than those provided shall be approved by the engineer.

The Contractor may request a change in inspection schedule for the following conditions:

- a. Inspections of areas with permanent cover to be reduced to once per month,
- b. Inspections of areas that have permanent cover and have had no construction activity for 12 months to be suspended until construction resumes,
- c. Inspections of areas where construction is suspended due to frozen ground conditions, inspections to be suspended until the earlier of within 24 hours of runoff occurring, or upon resuming construction.

No change in inspection schedule shall occur until authorized by the Engineer.

Inspections must include:

1. All erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness.
2. Surface waters, including drainage ditches and conveyance systems for evidence of erosion and sediment deposition.
3. Construction site vehicle exit locations, streets and curb and gutter systems within and adjacent to the project for sedimentation from erosion or tracked sediment from vehicles.
4. Infiltration areas to ensure that no sediment from ongoing construction activity is reaching the infiltration area and that equipment is not being driven across the infiltration area.

All non-functioning BMPs and those BMPs where sediment reaches one-half (1/2) of the depth of the BMP, or in the case of sediment basins one-half (1/2) of the storage volume, must be repaired, replaced, or supplemented by the end of the next business day after discovery, or as soon as field conditions allow.

Permittees must repair, replace or supplement all nonfunctional BMPs with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.

Any sediment that escapes the site must be removed and the area stabilized within 7 calendar days of discovery unless precluded by legal, regulatory, or physical access in which case the work shall be completed within 7 calendar days of authorization. Paved surfaces such as streets shall have any escaped or tracked sediment removed by the end of the day that it is discovered. Sediment release, other than paved surfaces that can be cleaned up with street sweeping shall be reported immediately upon discovery to the Engineer.

PUBLIC WATER RESTRICTIONS:

For public waters that have been promulgated "work in water restrictions" during fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete stabilization within 24-hours during the time period. MN DNR permits are not valid for work in waters that are designated as infested waters unless accompanied by an Infested Waters Permit or written notification has been obtained from MN DNR stating that such permit is not required. There is no exception for pre-existing permits. If a MN DNR Permit has been issued for the project and the water is later designated as infested, the Contractor shall halt all work covered by the MN DNR Permit until an Infested Waters Permit is obtained or that written notification is obtained stating that such permit is not required.

FINAL STABILIZATION

Final Stabilization is not complete until all the following requirements have been met:

1. Substantial Completion has been reached and no ground disturbing activities are anticipated.
2. Permanent cover has been installed with an established minimum uniform perennial vegetation density of 70 percent of its expected final growth. Vegetation is not required in areas where no vegetation is proposed by this project such as impervious surfaces or the base of a sand filter.

3. Accumulated sediment has been removed from all permanent stormwater treatment systems as necessary to ensure the system is operating as designed.
4. All sediment has been removed from conveyance systems
5. All temporary synthetic erosion prevention and sediment control BMPs have been removed. BMPs designated on the SWPPP to remain to decompose on-site may remain.
6. For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
7. For agricultural land only (e.g., pipelines across cropland), the disturbed land must be returned to its preconstruction agricultural use prior to submitting the NOT.

SITE STABILIZATION COMPLETION:

Stabilization of exposed soils shall begin immediately and shall be completed after the construction activity has temporarily or permanently ceased no later than:	14 calendar days
--	------------------

SITE INSPECTION INTERVAL:

A trained person shall routinely inspect the entire construction site during active construction at an interval of no more than:	7 calendar days
--	-----------------

SPECIAL ENVIRONMENTAL CONSIDERATIONS AND PERMITS:

1)	Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
2)	Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
3)	Does any portion of this site discharge to a Calcareous fen.	NO
4)	Will any portion of the site potentially affect properties listed on the National Register of Historic Places or a known or discovered archeological site?	NO
5)	Have any Karst features have been identified in the project vicinity?	NO
6)	Is compliance with temporary or permanent stormwater management design requirements infeasible for this project?	NO
7)	Has the MN DNR promulgated "work in water restrictions" for any Public Water this site discharges to during fish spawning?	NO

SWPPP DESIGNER TRAINING DOCUMENTATION:

UNIVERSITY OF MINNESOTA

Alec W. Pietz

Construction Site Management (May 31 2024)
Design of Construction SWPPP (May 31 2024)

© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\MECTIC\B_P\BWI\330287\CAD\CAD130187\CD01.dwg 12/19/2023 7:24:31 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX



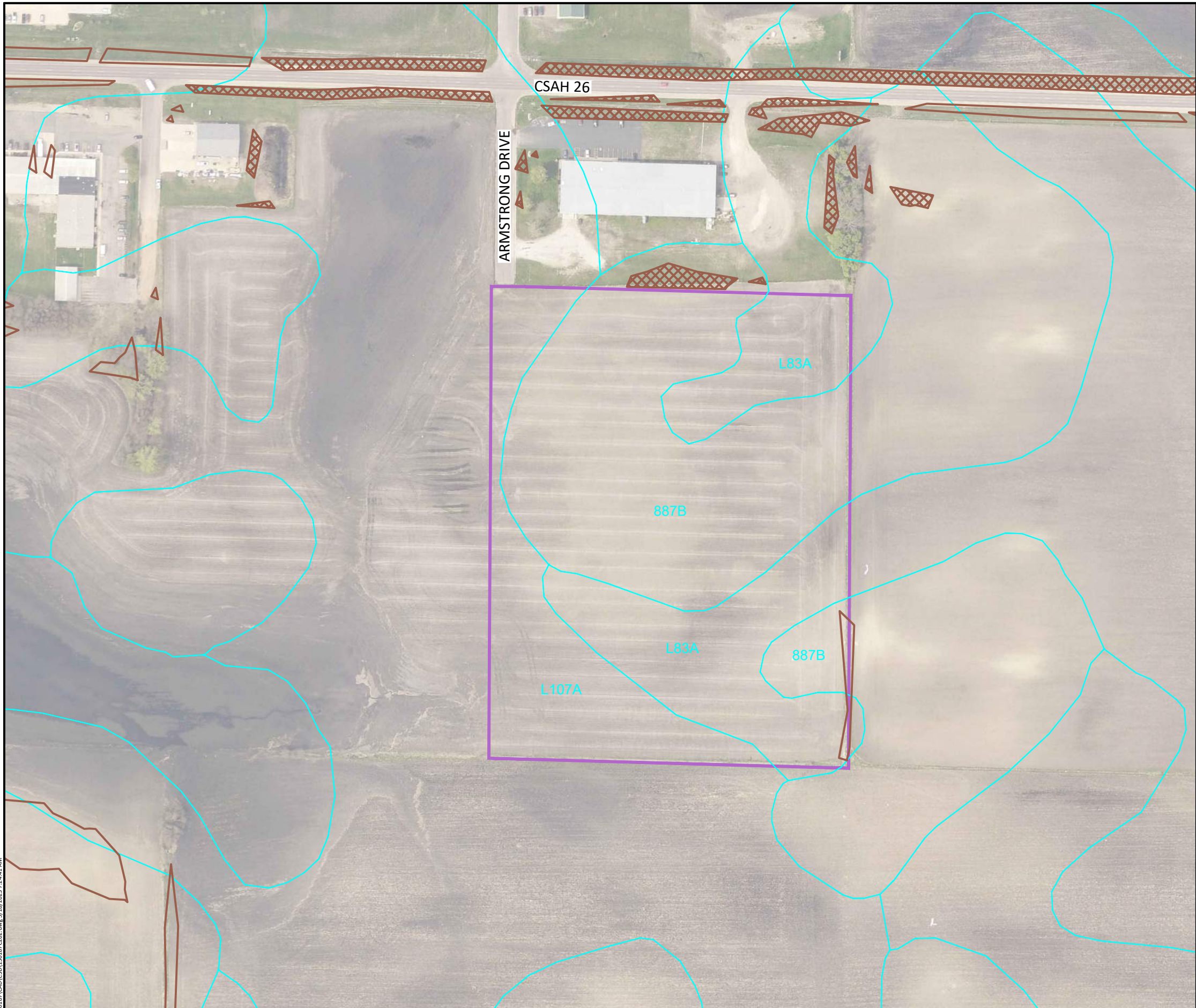
1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.			
0M1.130187			




KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
STORMWATER POLLUTION PREVENTION PLAN
NARRATIVE

SHEET

C2.02



LEGEND

-  PROJECT BOUNDARY
-  SOIL TYPE
-  STEEP SLOPES (>33.3%)



SOIL TYPE SUMMARY

Map Unit Symbol	Soil Name	Hyd. Soil Group	Erodibility
MUSYM	MUNAME	HYDGRP	MUHELCL
L83A	Webster clay loam, 0 to 2 percent slopes	C/D	NHEL
L107A	Canisteo-Glencoe, depressional complex, 0 to 2 percent slopes	C/D	NHEL
887B	Clarion-Swanlake loams, 2 to 6 percent slopes	C	NHEL

NHEL - Not Highly Erodible Land
 PHEL - Potentially Highly Erodible Land
 HEL - Highly Erodible Land

LOCATION OF SWPPP REQUIREMENTS IN PROJECT PLAN

DESCRIPTION	SHEET NO.
SITE MAP	C2.01
NARRATIVE & NOTES	C2.01 - C2.02
SOILS	C2.03
EROSION & SEDIMENT CONTROL DETAILS	C2.04 - C2.05
DIRECTION OF FLOW	C2.06 - C2.07
FINAL STABILIZATION	C2.06 - C2.07

© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\MCT\116_10\101\130187\130187_C203.dwg 5/15/2023 7:24:41 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

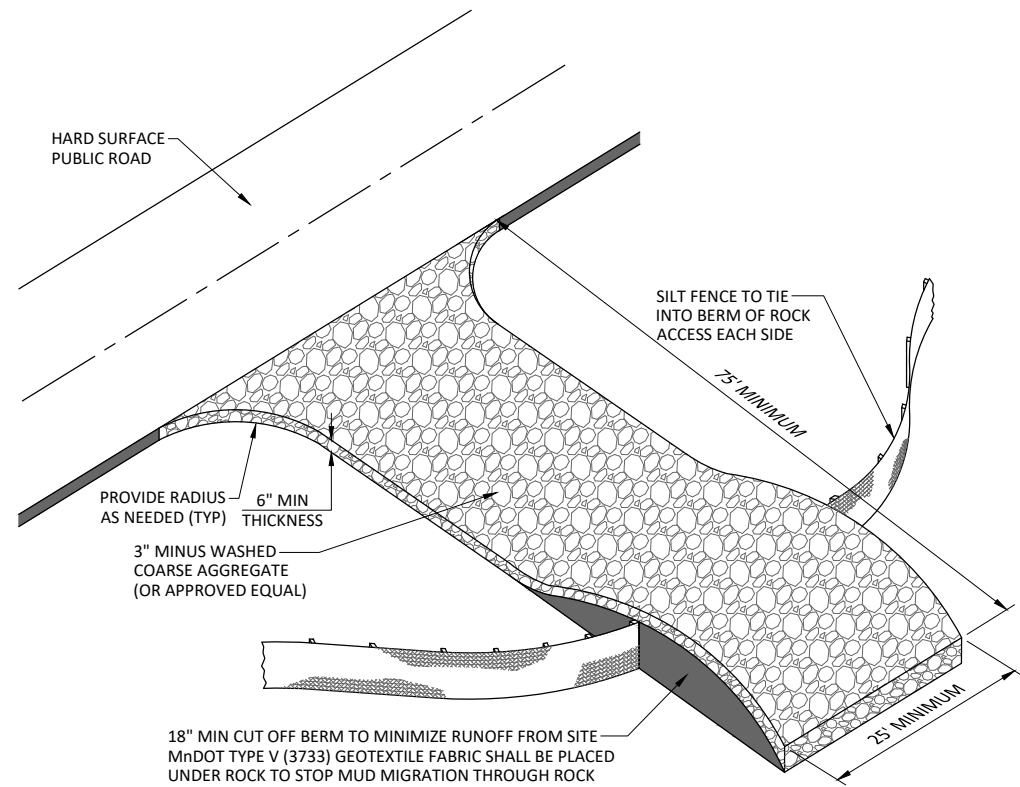


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

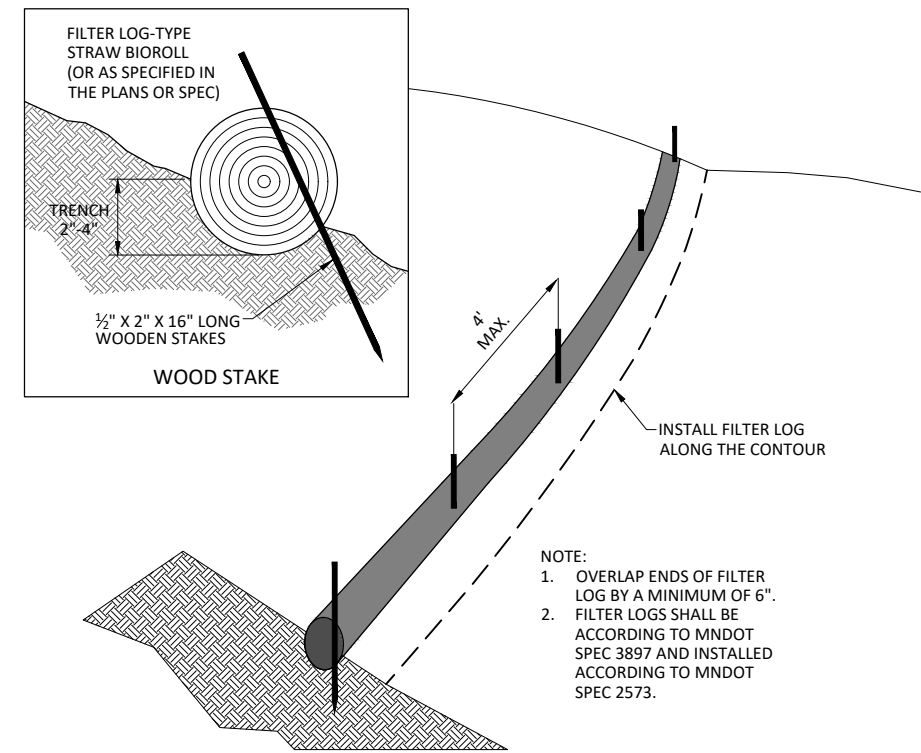
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1-130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 STORMWATER POLLUTION PREVENTION PLAN
 SITE AND SOILS MAP

SHEET
C2.03



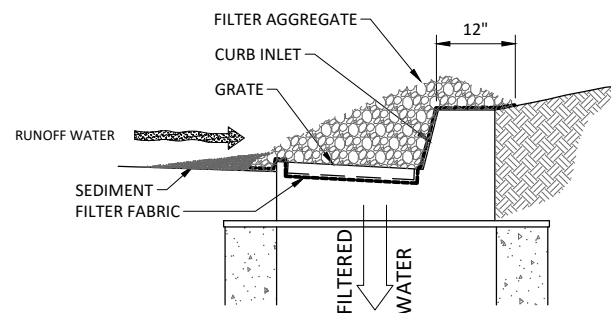
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



PERIMETER PROTECTION-FILTER LOG
NOT TO SCALE

NOTES:

1. FILTER AGGREGATE TO BE 1 TO 2 INCH CLEAN ROCK
2. FILTER FABRIC SHALL MEET MnDOT SPECIFICATION 3733 GEOTEXTILE FABRIC TYPE II



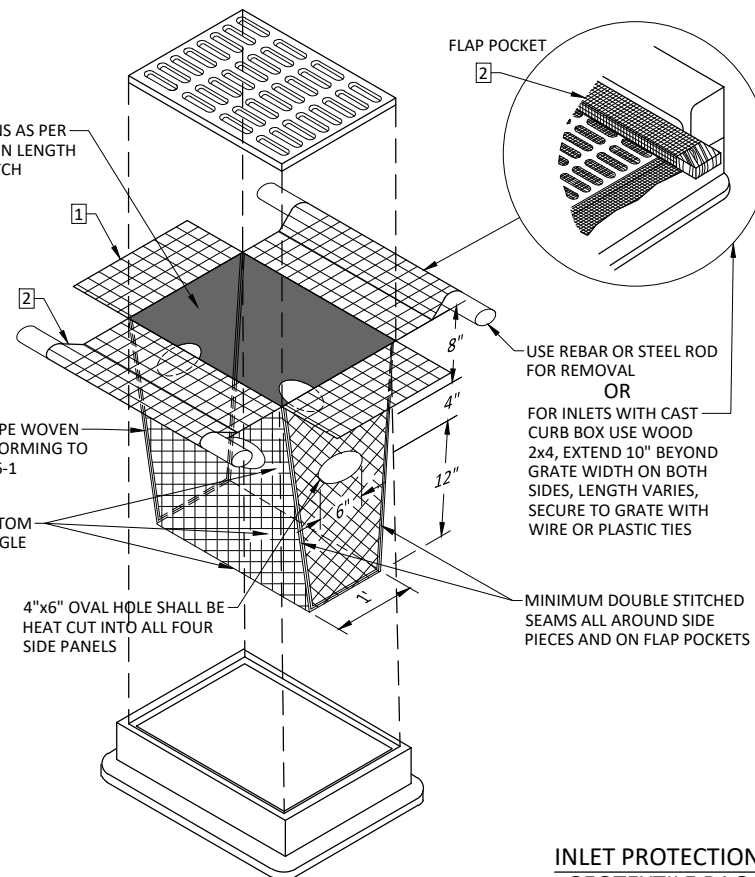
**INLET PROTECTION
FILTER AGGREGATE**
NOT TO SCALE

INLET SPECIFICATIONS AS PER THE PLAN DIMENSION LENGTH AND WIDTH TO MATCH

GEOTEXTILE FABRIC, TYPE WOVEN MONOFILAMENT CONFORMING TO SPEC. 3886, TABLE 3886-1 MACHINE SLICE

FRONT, BACK AND BOTTOM TO BE MADE FROM SINGLE PIECE OF FABRIC

4"x6" OVAL HOLE SHALL BE HEAT CUT INTO ALL FOUR SIDE PANELS



**INLET PROTECTION
GEOTEXTILE BAG**
NOT TO SCALE

NOTES:

1. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL IN THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
2. FINISHED SIZE, INCLUDING POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INSTALLATION NOTES:
DO NOT INSTALL PROTECTION IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CLINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\PROJECTS_P\130187\CD\1301871203.dwg 1/19/2023 7:24:42 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX



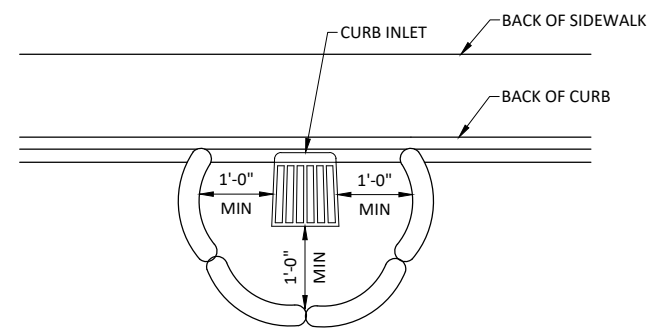
1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
STORMWATER POLLUTION PREVENTION PLAN
BEST MANAGEMENT PRACTICE DETAILS

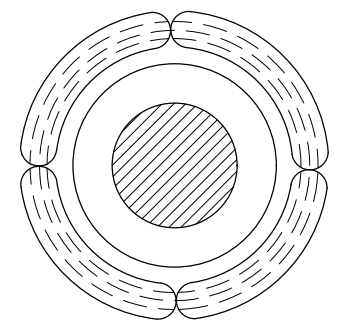
SHEET

C2.04



NOTE:
THIS INLET PROTECTION IS USED DURING
ROUGH GRADING ONLY, USE BEFORE ROAD
IS OPEN TO TRAFFIC OR IS PAVED

PAYMENT SHALL INCLUDE ALL MATERIALS,
FILLING OF LOG, PLACEMENT,
MAINTENANCE & REMOVAL;
80% OF BID PRICE SHALL BE PAID UPON
PROPER PLACEMENT WITH THE FINAL 20%
PAID UPON REMOVAL

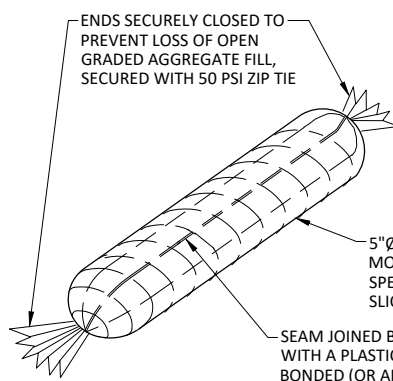


INLET PROTECTION
WITH ROCK LOG

FILL ROCK LOG WITH 45 LBS. OF OPEN
GRADED AGGREGATE CONSISTING OF
SOUND, DURABLE PARTICLES OF CRUSHED
QUARRY ROCK OR GRAVEL CONFORMING
TO THE FOLLOWING GRADATION.

GRADATION	
SIEVE SIZE	PERCENT PASSING
1 1/2"	100
1"	95-100
3/4"	65-95
3/8"	30-65
NO 4	10-35
NO 10	3-20
NO 40	0-8
NO 200	0-3

NOTE:
CRUSHED CONCRETE OR BITUMINOUS
SHALL NOT BE USED FOR OPEN
GRADED AGGREGATE.

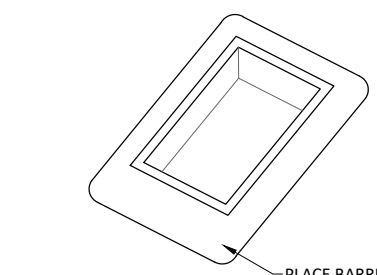


INLET PROTECTION
ROCK BAG
NOT TO SCALE

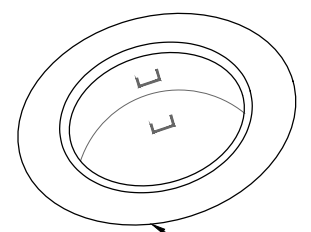
ENDS SECURELY CLOSED TO
PREVENT LOSS OF OPEN
GRADED AGGREGATE FILL,
SECURED WITH 50 PSI ZIP TIE

5"Ø GEOTEXTILE SOCK, TYPE WOVEN
MONOFILAMENT CONFORMING TO
SPEC. 3886 TABLE 3886-1. MACHINE
SLICE

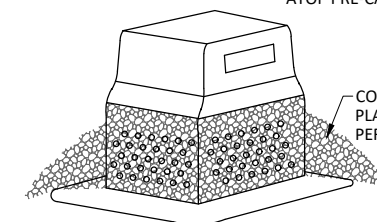
SEAM JOINED BY TWO ROWS OF STITCHING
WITH A PLASTIC MESH BACKING OR HEAT
BONDED (OR APPROVED EQUAL)



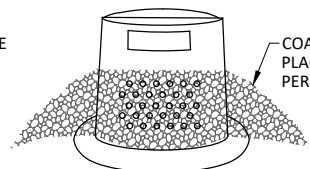
PLACE BARRIER FRAME
ATOP PRE-CAST TOP SLAB



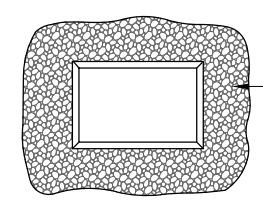
PLACE BARRIER FRAME
ATOP PRE-CAST TOP SLAB



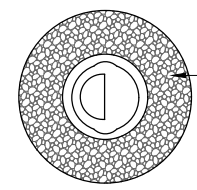
COARSE FILTER AGGREGATE
PLACED TO COVER
PERFORATIONS



COARSE FILTER AGGREGATE
PLACED TO COVER
PERFORATIONS



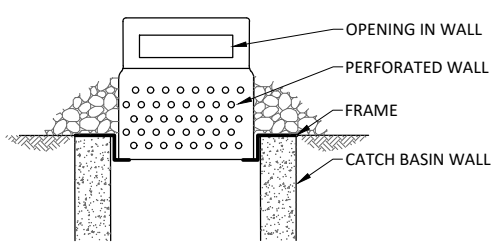
TOP VIEW



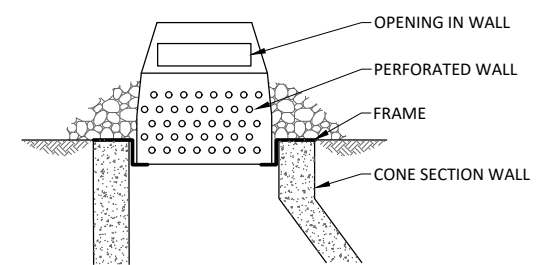
TOP VIEW

COARSE FILTER AGGREGATE
PLACED TO COVER
PERFORATIONS

COARSE FILTER AGGREGATE
PLACED TO COVER
PERFORATIONS

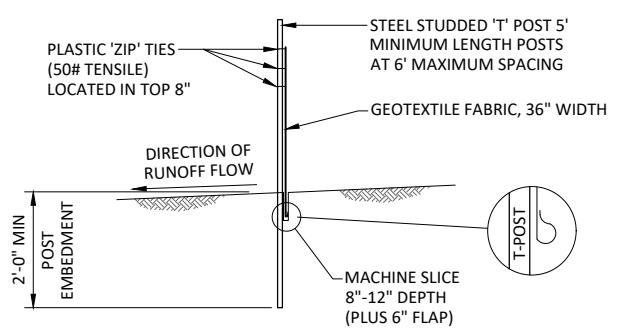


OPENING IN WALL
PERFORATED WALL
FRAME
CATCH BASIN WALL

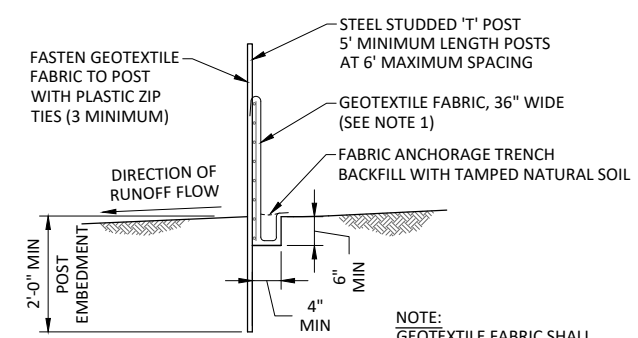


OPENING IN WALL
PERFORATED WALL
FRAME
CONE SECTION WALL

INLET PROTECTION
PERFORATED WALL
NOT TO SCALE



SILT FENCE - MACHINE SLICED
NOT TO SCALE



SILT FENCE - HEAVY DUTY
NOT TO SCALE

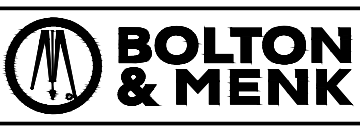
NOTE:
GEOTEXTILE FABRIC SHALL
BE PER MNDOT SPEC 3886

© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\PROJECTS_P\101\101130187\2023.dwg 12/15/2023 7:24:43 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX

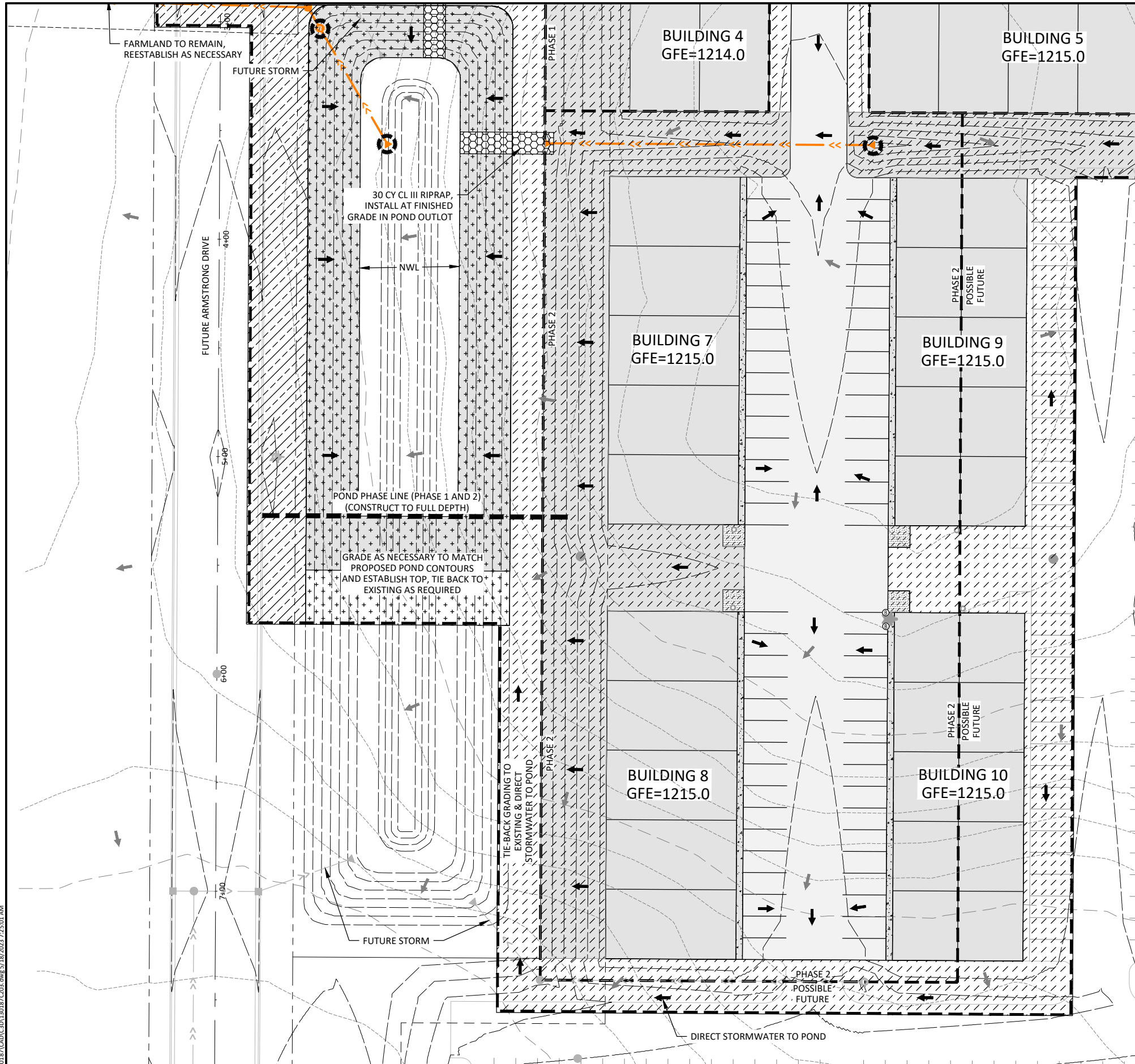


1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
STORMWATER POLLUTION PREVENTION PLAN
BEST MANAGEMENT PRACTICE DETAILS

SHEET
C2.05

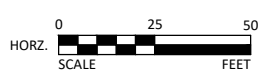


EROSION CONTROL LEGEND	
	EXISTING/PROPOSED DRAINAGE FLOW
	PERIMETER CONTROL
	STABILIZED CONSTRUCTION EXIT
	STORM DRAIN INLET PROTECTION
	SEED MIX 25-151, FERTILIZE, & MULCH
	SEED MIX 33-261, FERTILIZE, & MULCH
	SEED MIX 25-141, FERTILIZE, & MULCH
	EROSION CONTROL BLANKET CATEGORY 20

- NOTES:
- ALL NECESSARY BMP'S SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION. ALL BMP'S SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 72 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD. ALL NON FUNCTIONING BMP'S SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF DISCOVERY.
 - ALL STORM SEWER INLETS SHALL HAVE INLET PROTECTION IN PLACE AS NEEDED UNTIL DISTURBED TURF IS STABILIZED.
 - ALL PERIMETER CONTROL IS TO BE REMOVED UPON ESTABLISHED TURF RESTORATION.
 - CONTRACTOR TO COORDINATE THE REMOVAL AND REPLACEMENT OF TEMPORARY ROCK CONSTRUCTION EXITS DURING CONSTRUCTION.



© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\MFC\1115_P\1115_P\1115_P\1115_P\1115_P.dwg 1/19/2023 7:25:01 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		


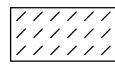

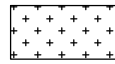
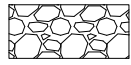
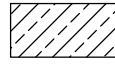


KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
STORMWATER POLLUTION PREVENTION PLAN
EROSION & SEDIMENT CONTROL PLAN

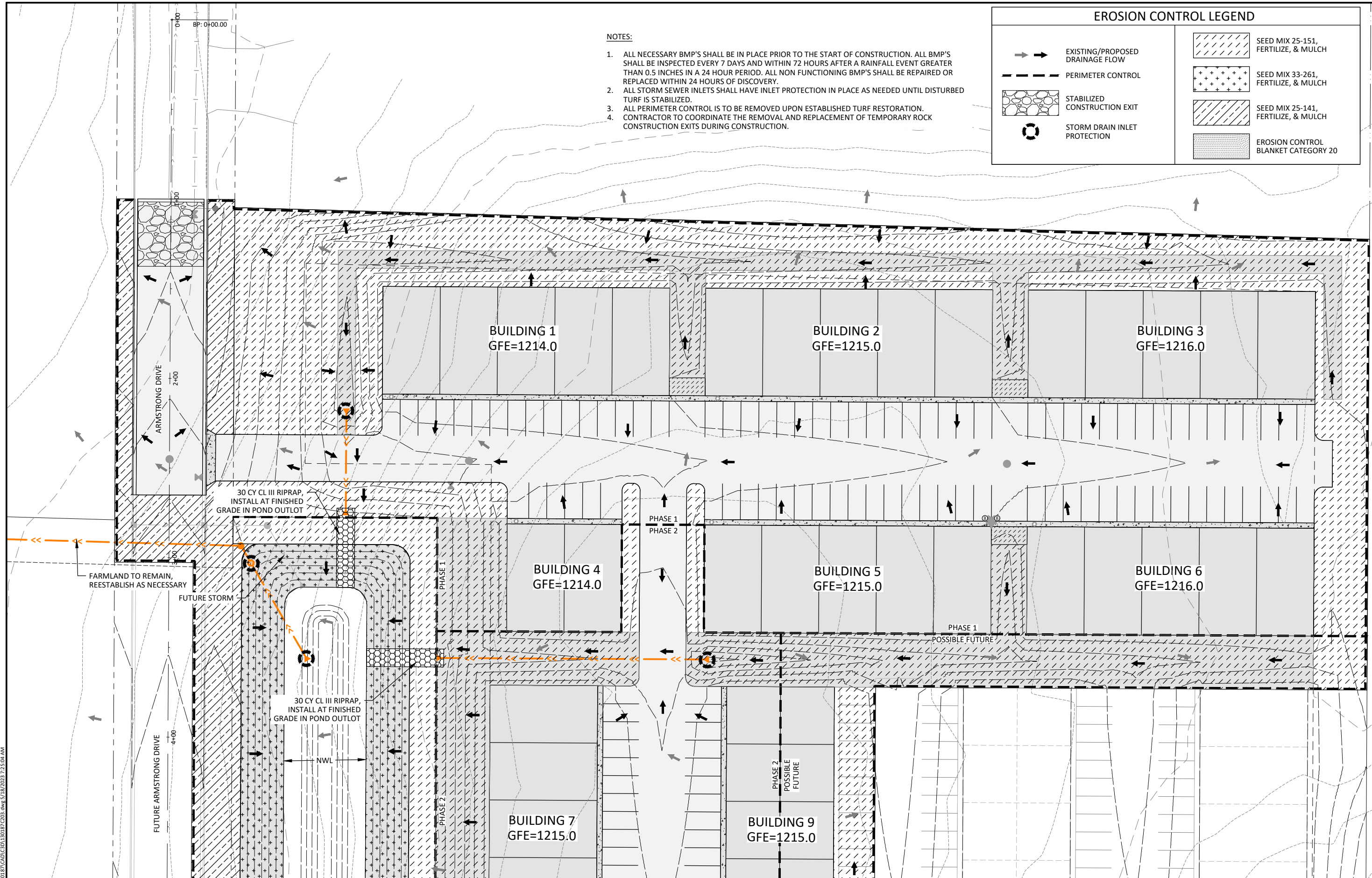
SHEET
C2.06

NOTES:

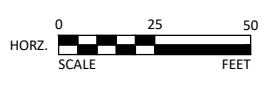
1. ALL NECESSARY BMP'S SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION. ALL BMP'S SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 72 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD. ALL NON FUNCTIONING BMP'S SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF DISCOVERY.
2. ALL STORM SEWER INLETS SHALL HAVE INLET PROTECTION IN PLACE AS NEEDED UNTIL DISTURBED TURF IS STABILIZED.
3. ALL PERIMETER CONTROL IS TO BE REMOVED UPON ESTABLISHED TURF RESTORATION.
4. CONTRACTOR TO COORDINATE THE REMOVAL AND REPLACEMENT OF TEMPORARY ROCK CONSTRUCTION EXITS DURING CONSTRUCTION.

EROSION CONTROL LEGEND

	EXISTING/PROPOSED DRAINAGE FLOW		SEED MIX 25-151, FERTILIZE, & MULCH
	PERIMETER CONTROL		SEED MIX 33-261, FERTILIZE, & MULCH
	STABILIZED CONSTRUCTION EXIT		SEED MIX 25-141, FERTILIZE, & MULCH
	STORM DRAIN INLET PROTECTION		EROSION CONTROL BLANKET CATEGORY 20



© Bolton & Menk, Inc. 2023. All Rights Reserved. P:\METS\130187\CDM\CAD\130187\2023.dwg 1/19/2023 7:25:04 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

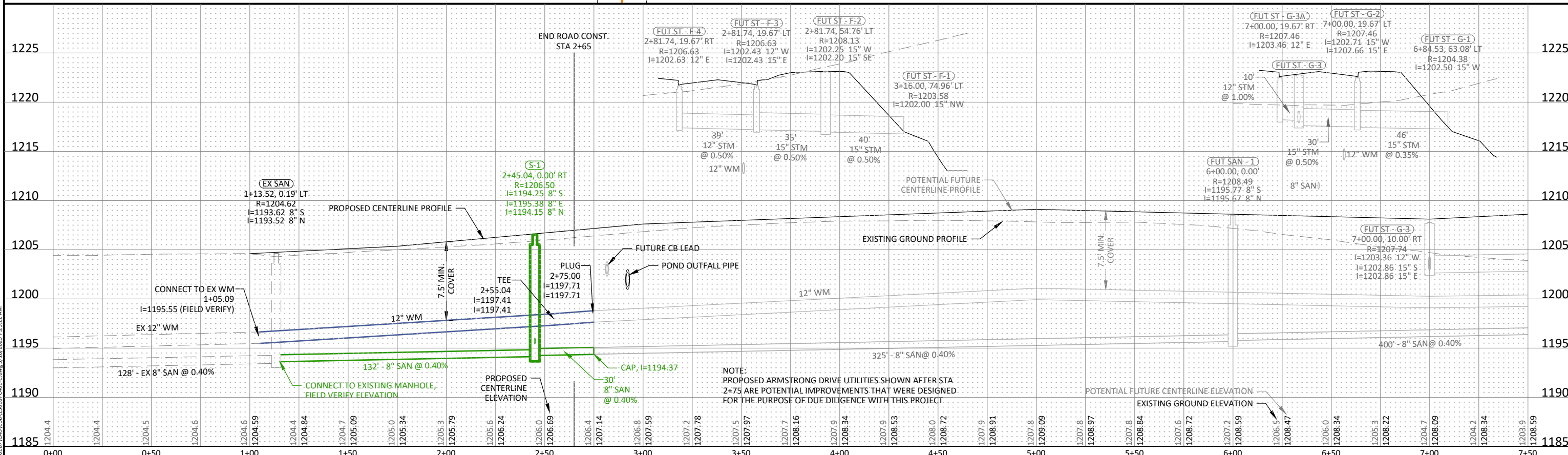
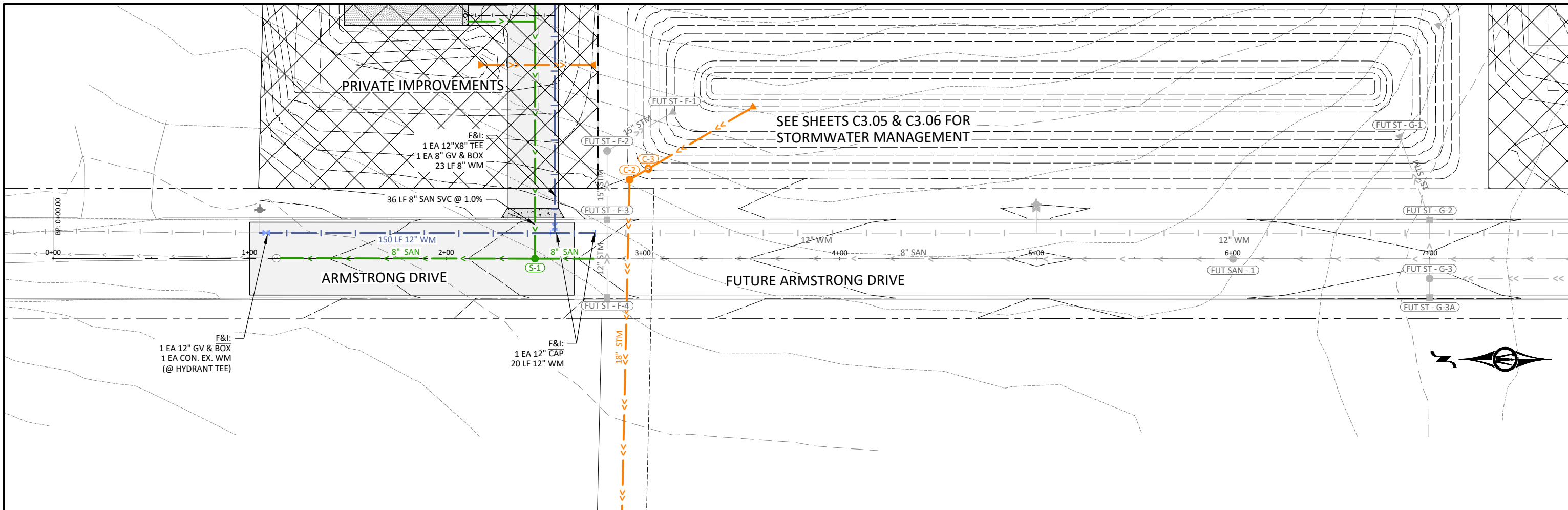


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

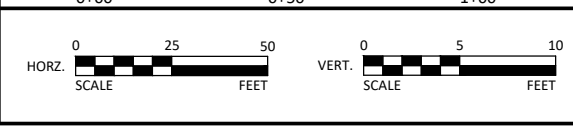
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 STORMWATER POLLUTION PREVENTION PLAN
 EROSION & SEDIMENT CONTROL PLAN

SHEET
C2.07



© Bolton & Menk, Inc. 2023. All Rights Reserved.
 FILE: C:\Projects\130187\130187.dwg; 5/18/2023 7:25:22 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

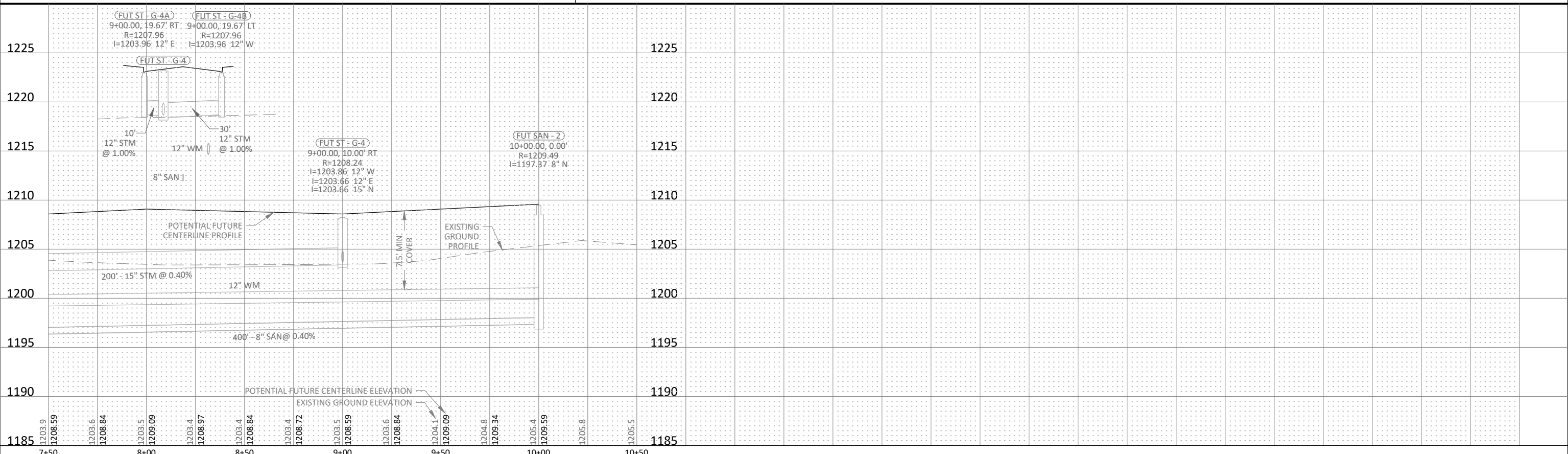
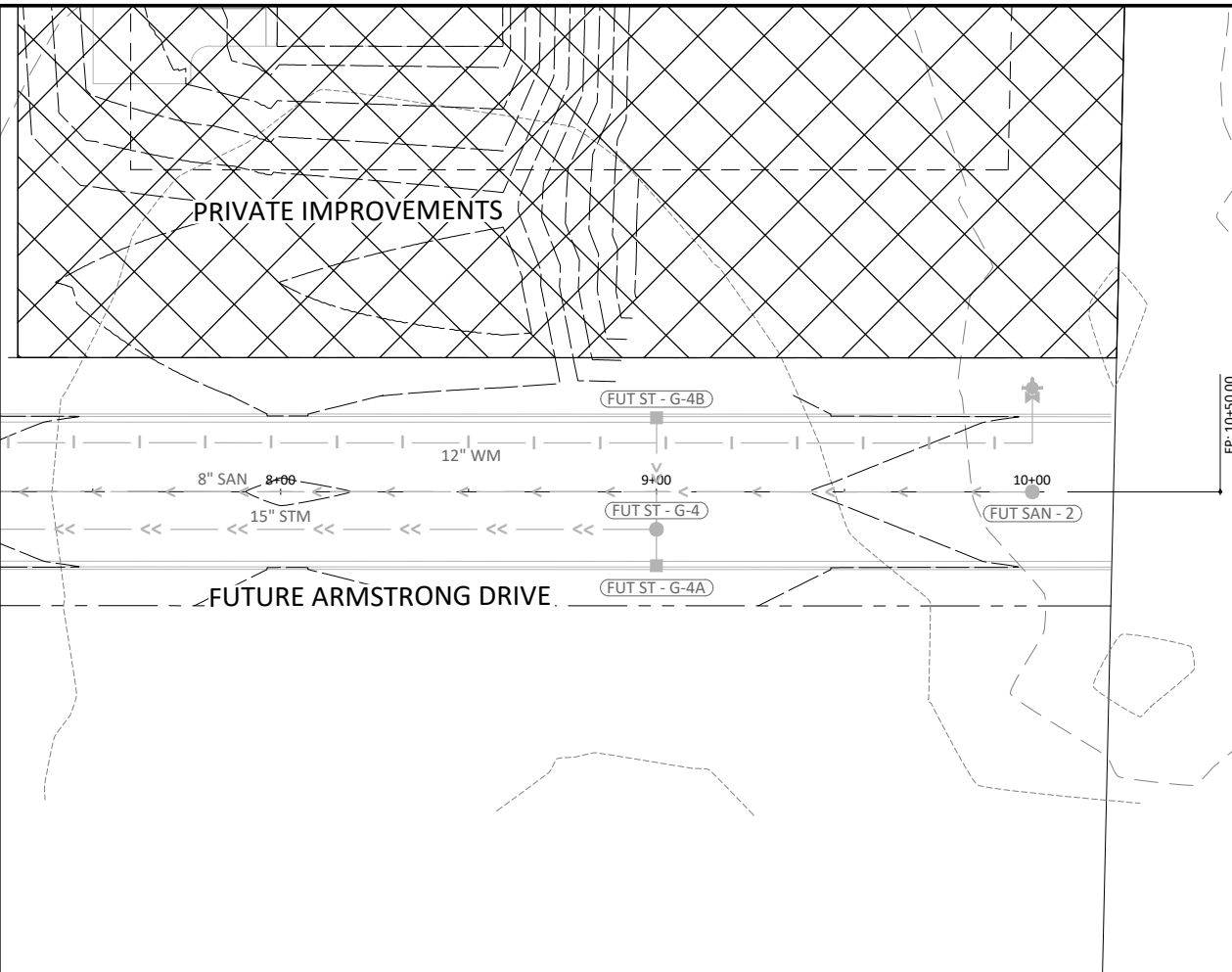


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

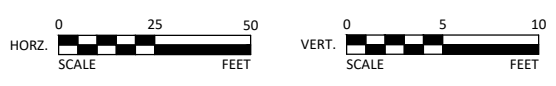
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
AWP			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 ARMSTRONG DRIVE EXTENSION
 UTILITIES - STA 0+00 TO 7+50

SHEET
C3.01



© Bolton & Menk, Inc. 2023. All Rights Reserved. P:\MISC\130187\130187.dwg, 5/18/2023 7:25:24 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

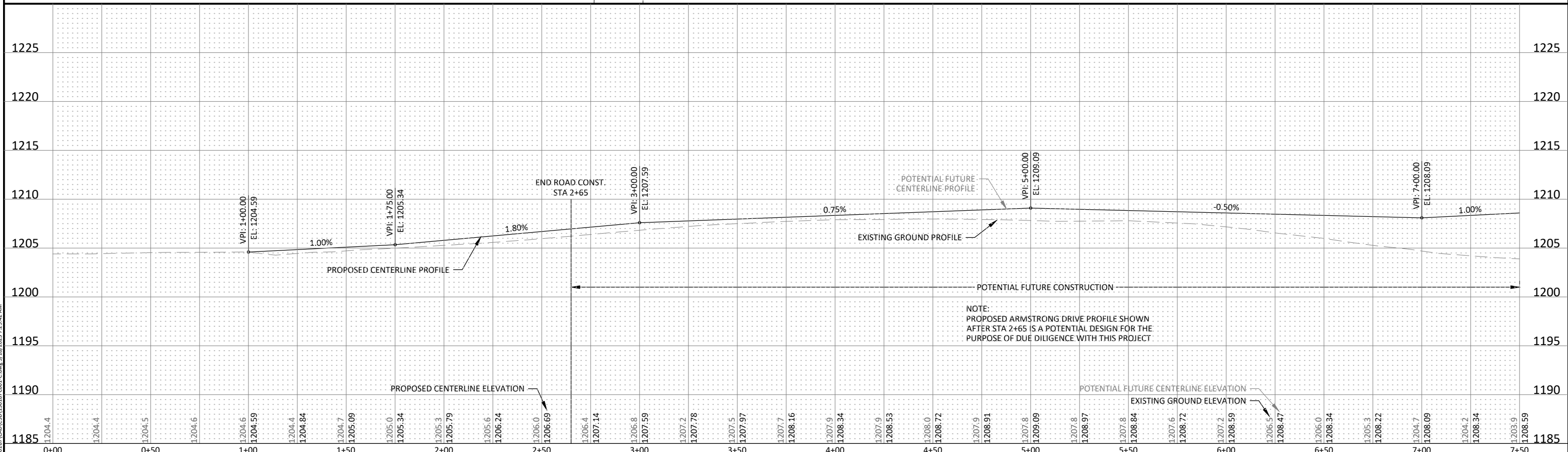
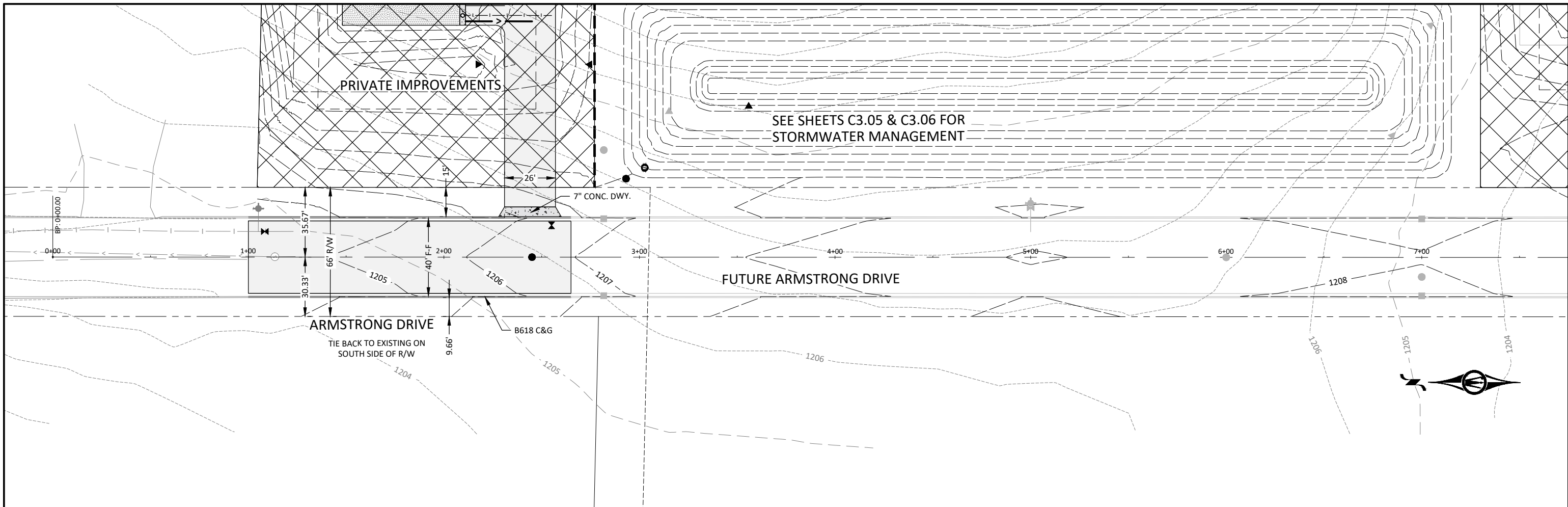


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

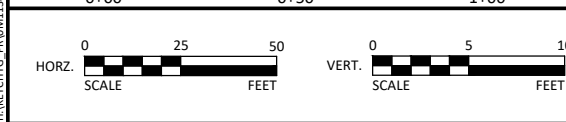
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 ARMSTRONG DRIVE EXTENSION
 UTILITIES - STA 7+50 TO 10+50

SHEET
C3.02



© Bolton & Menk, Inc. 2023. All Rights Reserved. DATE PLOTTED: 1/18/2023 7:25:42 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.

LIC. NO. 59617 DATE XX/XX/XXXX

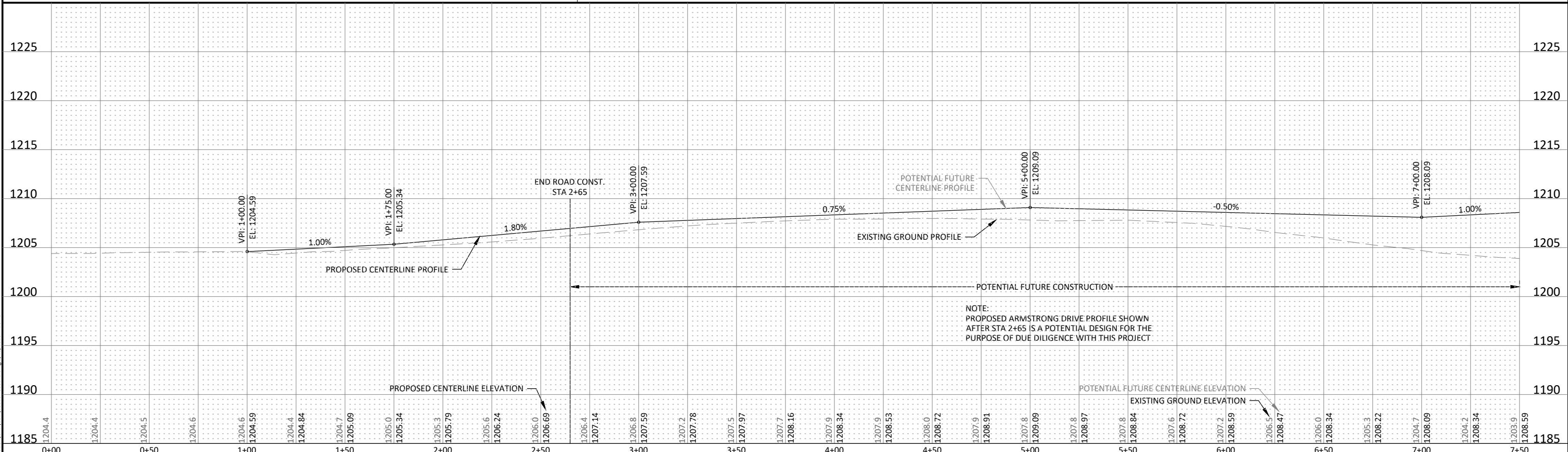
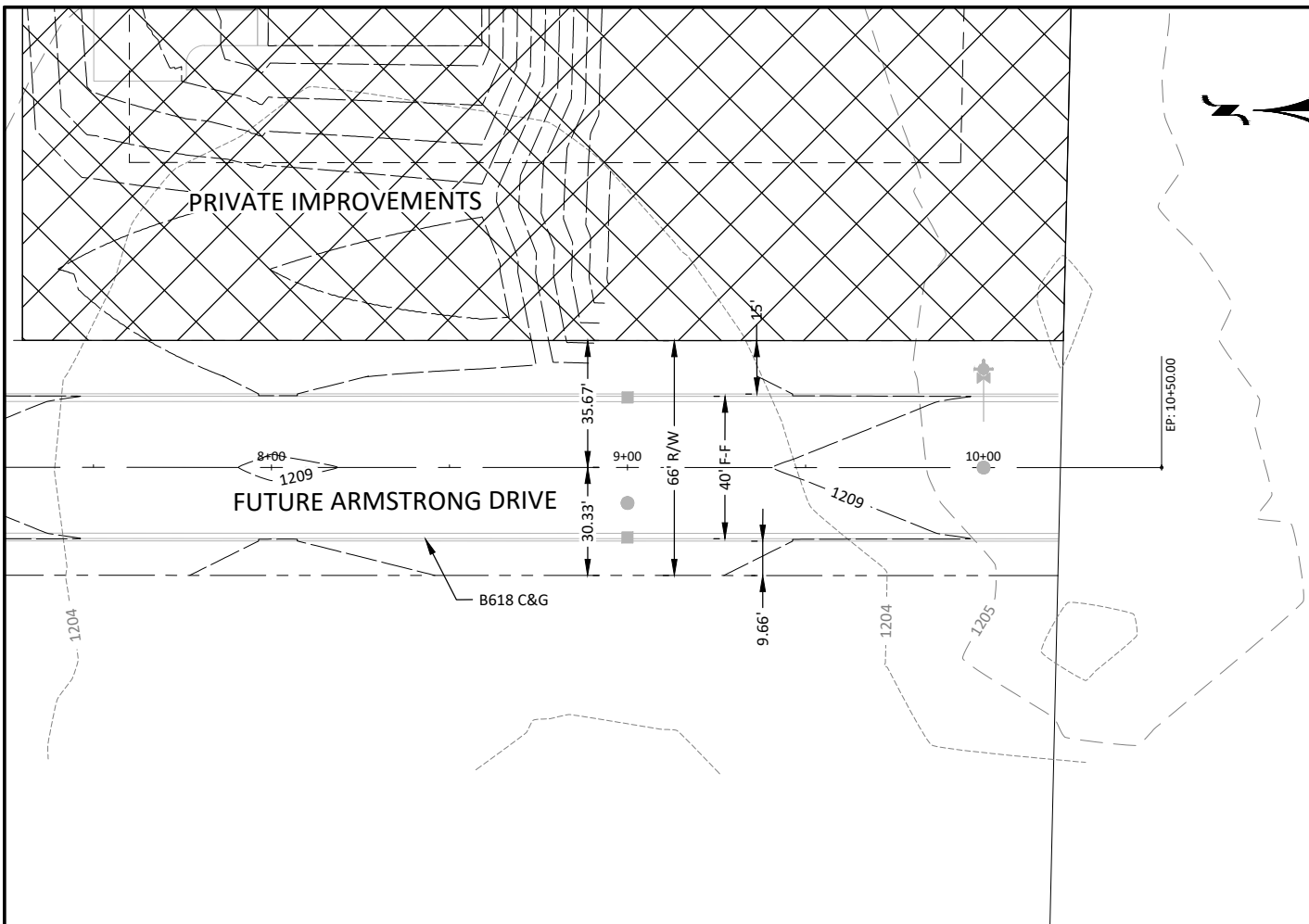


1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

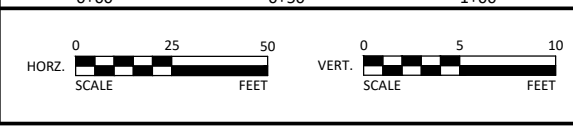
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
FAIRMONT CONTRACTOR CONDOMINIUMS
ARMSTRONG DRIVE EXTENSION
STREET - STA 0+00 TO 7+50

SHEET
C3.03



© Bolton & Menk, Inc. 2023. All Rights Reserved. P:\M\130187\CD\3D\CAD\C3D130187\6001_C.dwg: 5/18/2023 7:25:45 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

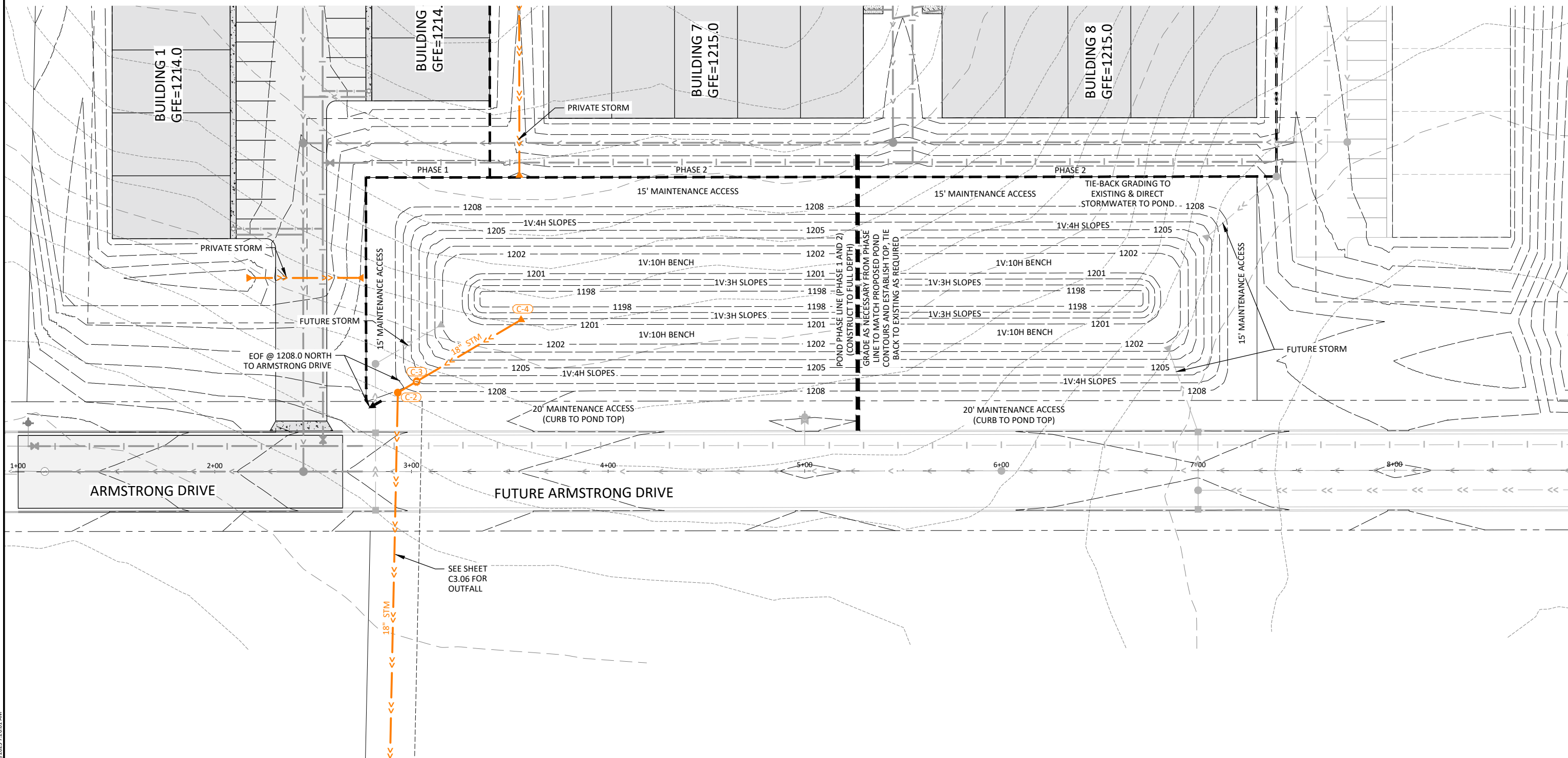


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

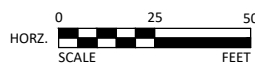
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 ARMSTRONG DRIVE EXTENSION
 STREET - STA 7+50 TO 10+50

SHEET
C3.04



© Bolton & Menk, Inc. 2023. All Rights Reserved.
 A:\MKTG\CAD\CAD130187\C3.05.dwg, 5/18/2023 7:26:01 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

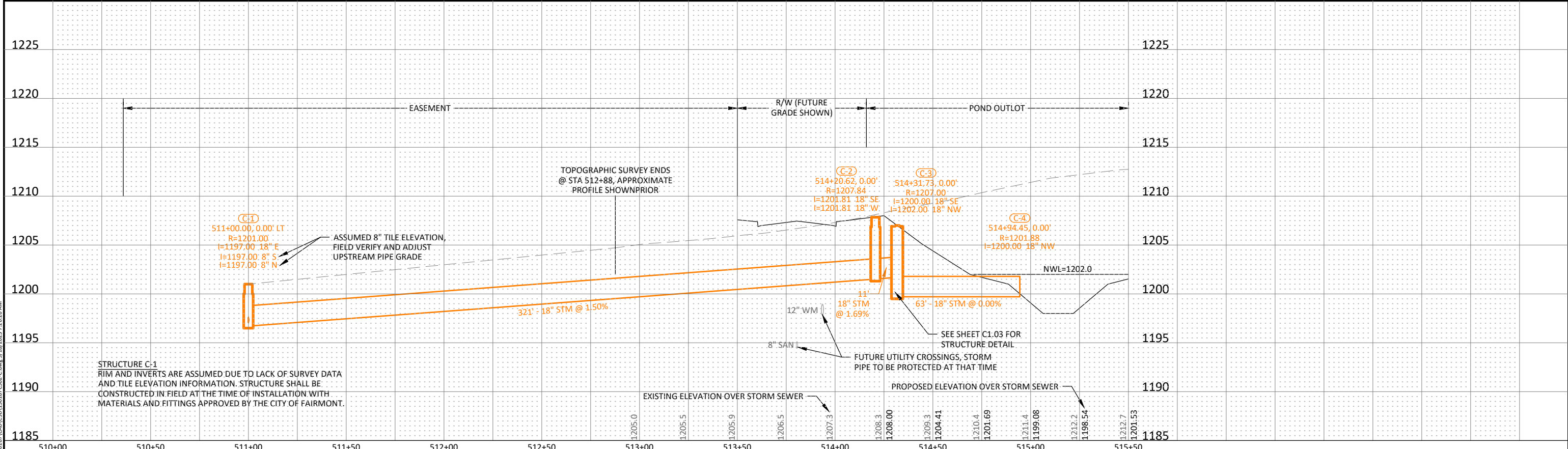
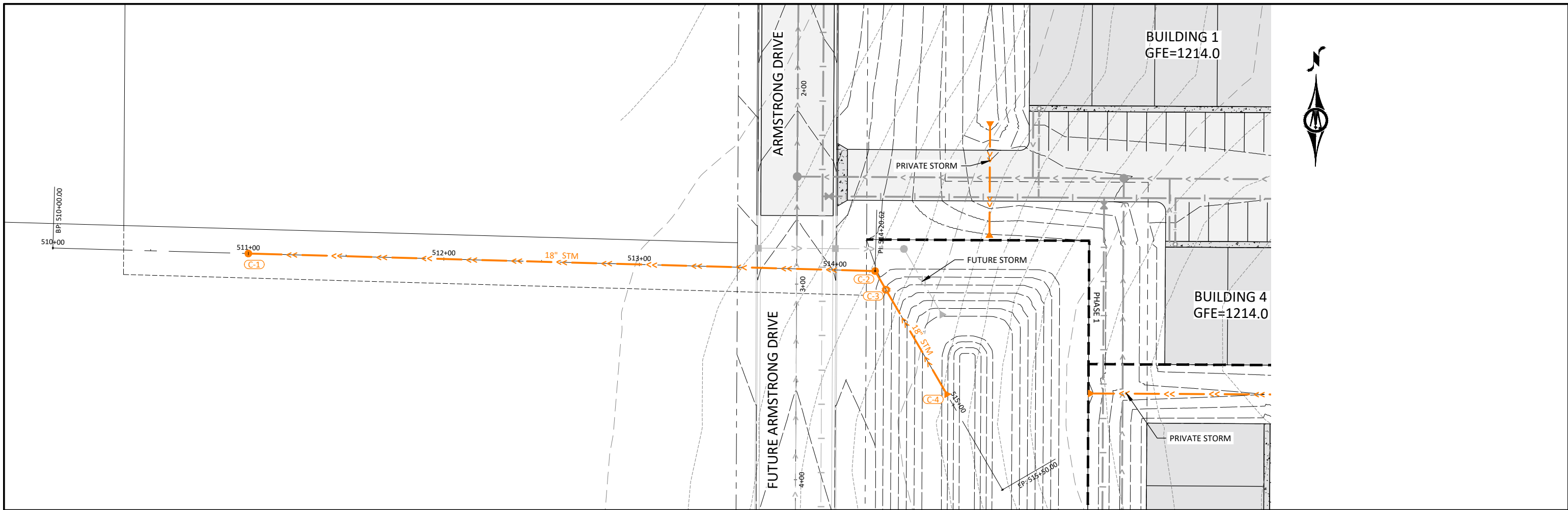


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

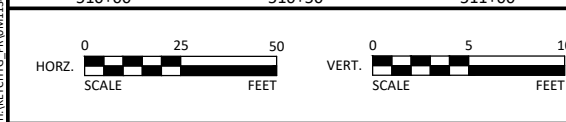
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.			
0M1.130187			

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 STORMWATER MANAGEMENT PLAN
 POND GRADING AND DETAILS

SHEET
C3.05



© Bolton & Menk, Inc. 2023. All Rights Reserved. P:\METS\130187\CDM\CAD\130187\CDM_C.dwg: 5/18/2023 7:26:26 AM



STRUCTURE C-1
 RIM AND INVERTS ARE ASSUMED DUE TO LACK OF SURVEY DATA AND TILE ELEVATION INFORMATION. STRUCTURE SHALL BE CONSTRUCTED IN FIELD AT THE TIME OF INSTALLATION WITH MATERIALS AND FITTINGS APPROVED BY THE CITY OF FAIRMONT.

NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

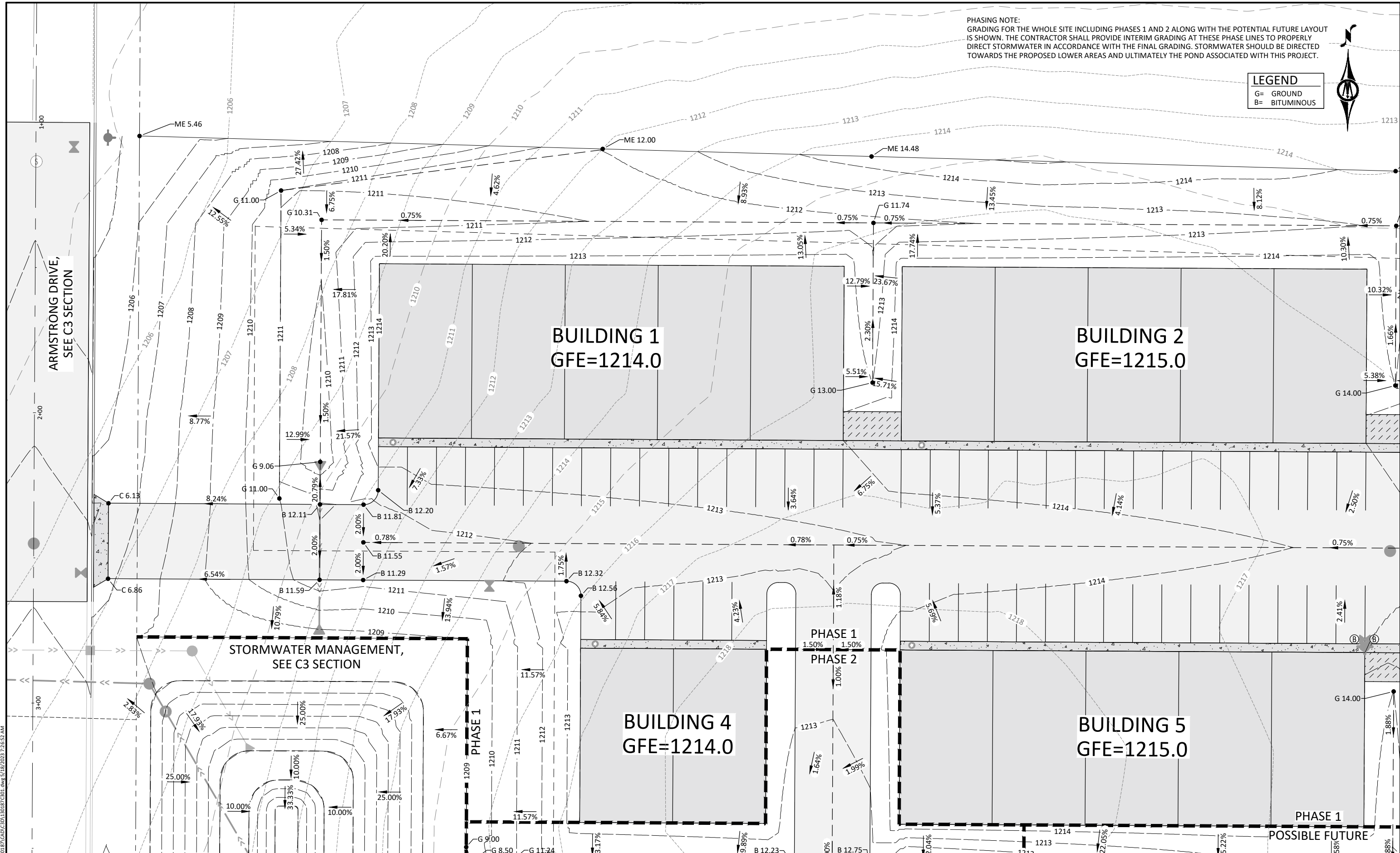
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN	AWP		
CHECKED	MS		
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 STORMWATER MANAGEMENT PLAN
 POND OUTFALL

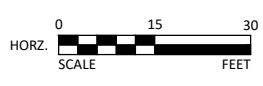
SHEET C3.06

PHASING NOTE:
 GRADING FOR THE WHOLE SITE INCLUDING PHASES 1 AND 2 ALONG WITH THE POTENTIAL FUTURE LAYOUT IS SHOWN. THE CONTRACTOR SHALL PROVIDE INTERIM GRADING AT THESE PHASE LINES TO PROPERLY DIRECT STORMWATER IN ACCORDANCE WITH THE FINAL GRADING. STORMWATER SHOULD BE DIRECTED TOWARDS THE PROPOSED LOWER AREAS AND ULTIMATELY THE POND ASSOCIATED WITH THIS PROJECT.

LEGEND
 G= GROUND
 B= BITUMINOUS



© Bolton & Menk, Inc. 2023. All Rights Reserved.
 A:\M\130187\CDM\CAD\C3D130187.C3D1.dwg 1/19/2023 7:26:52 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

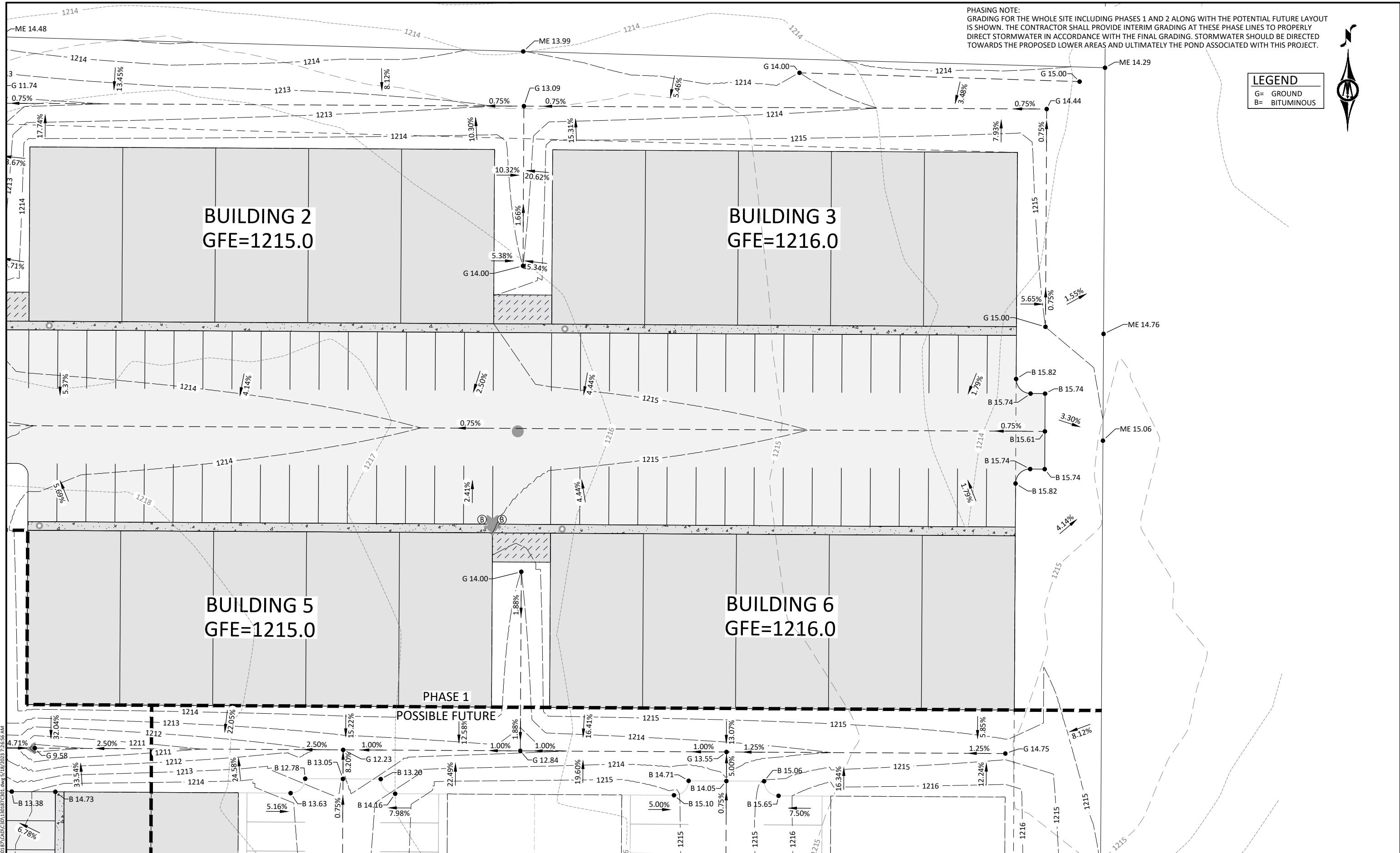
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN	AWP		
CHECKED	MS		
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 GRADING PLAN

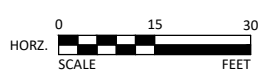
SHEET
C4.01

PHASING NOTE:
 GRADING FOR THE WHOLE SITE INCLUDING PHASES 1 AND 2 ALONG WITH THE POTENTIAL FUTURE LAYOUT IS SHOWN. THE CONTRACTOR SHALL PROVIDE INTERIM GRADING AT THESE PHASE LINES TO PROPERLY DIRECT STORMWATER IN ACCORDANCE WITH THE FINAL GRADING. STORMWATER SHOULD BE DIRECTED TOWARDS THE PROPOSED LOWER AREAS AND ULTIMATELY THE POND ASSOCIATED WITH THIS PROJECT.

LEGEND
 G= GROUND
 B= BITUMINOUS



© Bolton & Menk, Inc. 2023. All Rights Reserved.
 A:\PROJECTS_P\18130187\CD\18130187_C01.dwg, 15/03/2023 7:26:55 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

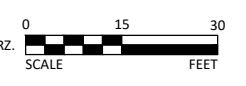
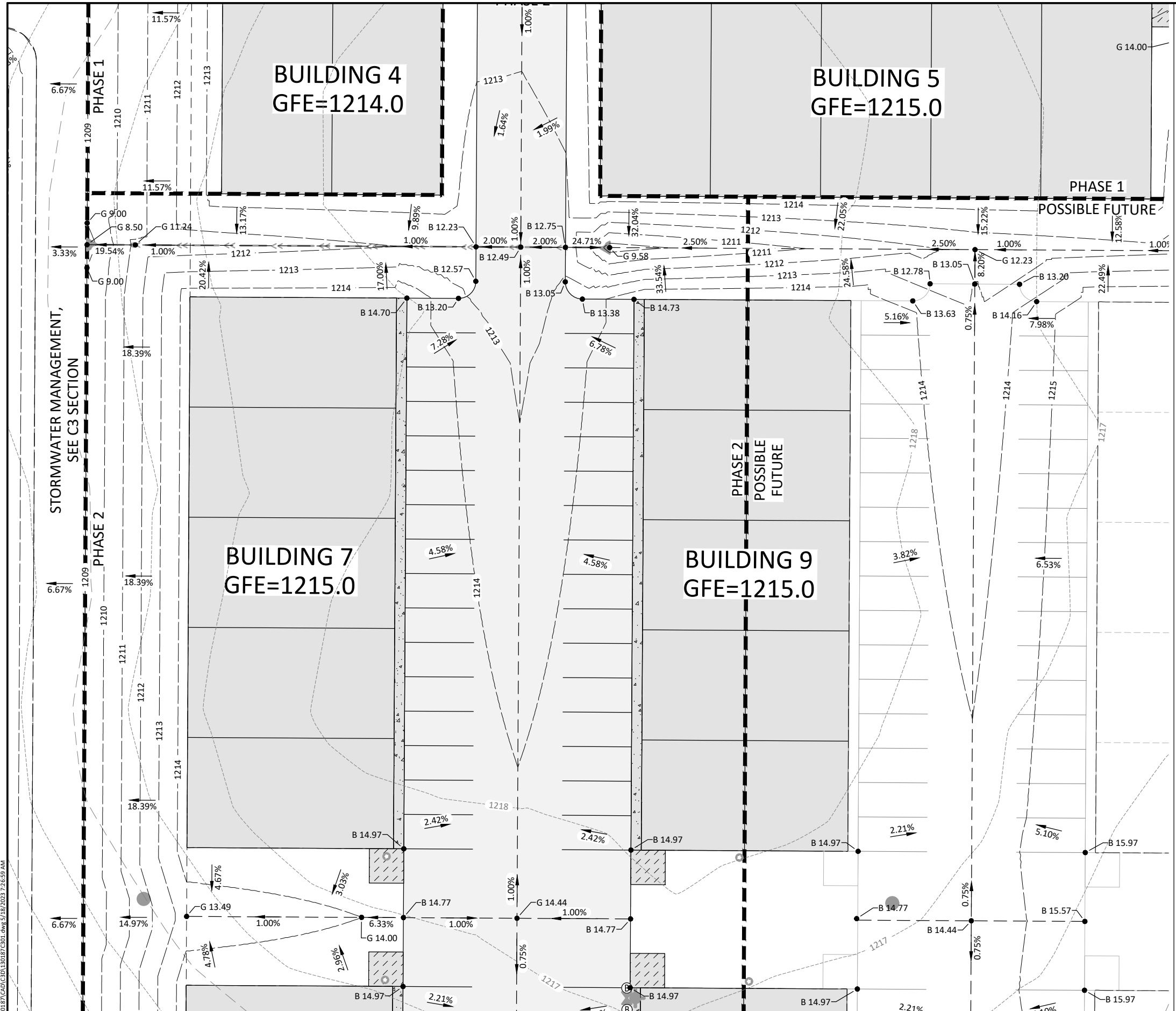
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1-130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 GRADING PLAN

SHEET
C4.02

PHASING NOTE:
 GRADING FOR THE WHOLE SITE INCLUDING PHASES 1 AND 2 ALONG WITH THE POTENTIAL FUTURE LAYOUT IS SHOWN. THE CONTRACTOR SHALL PROVIDE INTERIM GRADING AT THESE PHASE LINES TO PROPERLY DIRECT STORMWATER IN ACCORDANCE WITH THE FINAL GRADING. STORMWATER SHOULD BE DIRECTED TOWARDS THE PROPOSED LOWER AREAS AND ULTIMATELY THE POND ASSOCIATED WITH THIS PROJECT.

LEGEND
 G= GROUND
 B= BITUMINOUS



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1-130187		

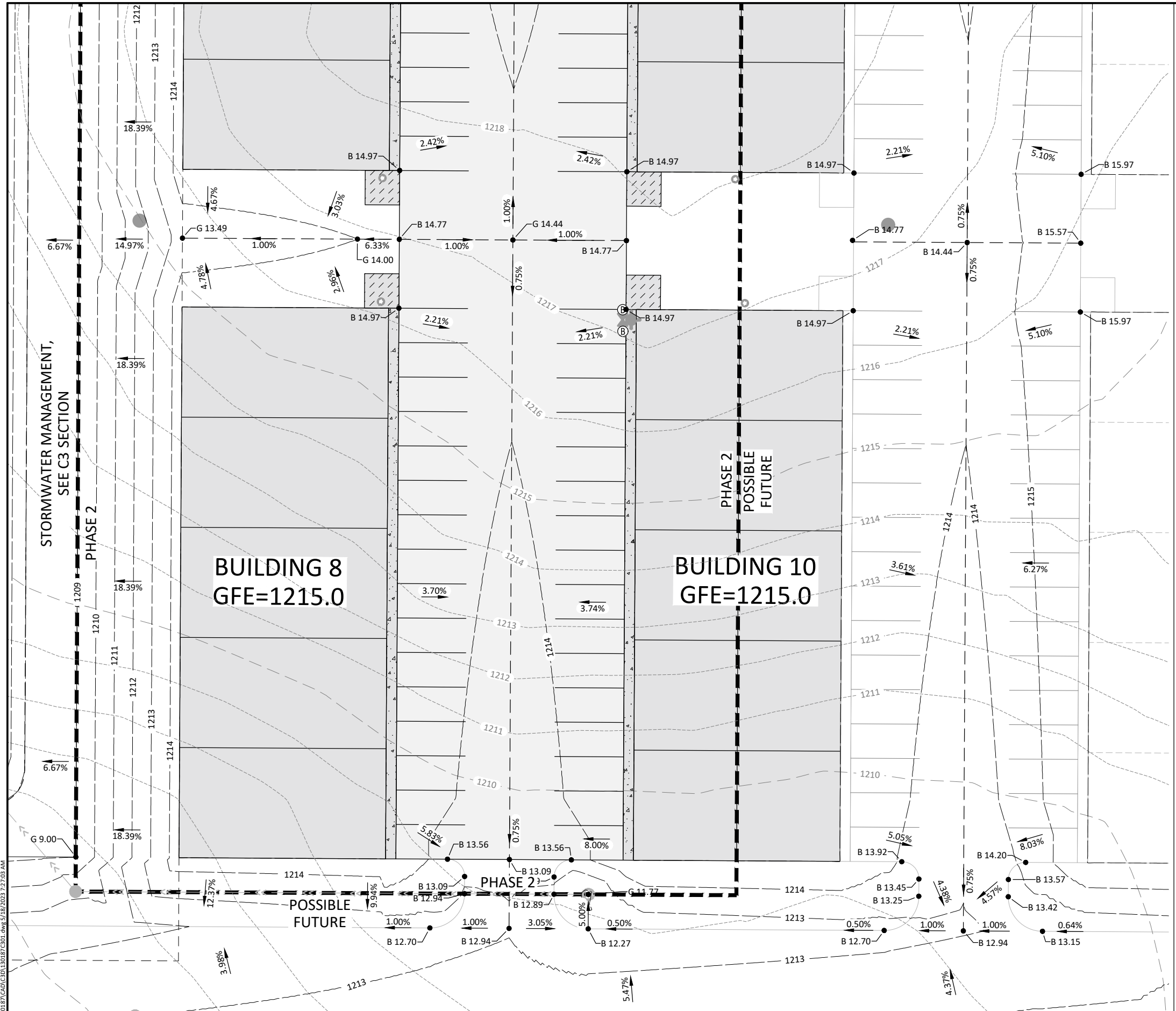
KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 GRADING PLAN

SHEET
C4.03

© Bolton & Menk, Inc. 2023. All Rights Reserved.
 A:\MCT\116_P\130187\CADD\C3D1\30187_C3D1.dwg 5/18/2023 7:26:59 AM

PHASING NOTE:
 GRADING FOR THE WHOLE SITE INCLUDING PHASES 1 AND 2 ALONG WITH THE POTENTIAL FUTURE LAYOUT IS SHOWN. THE CONTRACTOR SHALL PROVIDE INTERIM GRADING AT THESE PHASE LINES TO PROPERLY DIRECT STORMWATER IN ACCORDANCE WITH THE FINAL GRADING. STORMWATER SHOULD BE DIRECTED TOWARDS THE PROPOSED LOWER AREAS AND ULTIMATELY THE POND ASSOCIATED WITH THIS PROJECT.

LEGEND
 G= GROUND
 B= BITUMINOUS



STORMWATER MANAGEMENT,
 SEE C3 SECTION

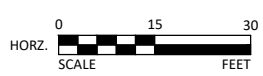
BUILDING 8
 GFE=1215.0

BUILDING 10
 GFE=1215.0

PHASE 2
 POSSIBLE
 FUTURE

PHASE 2
 POSSIBLE
 FUTURE

© Bolton & Menk, Inc. 2023. All Rights Reserved.
 A:\MKTG\130187\130187_C301.dwg 1/18/2023 7:27:05 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

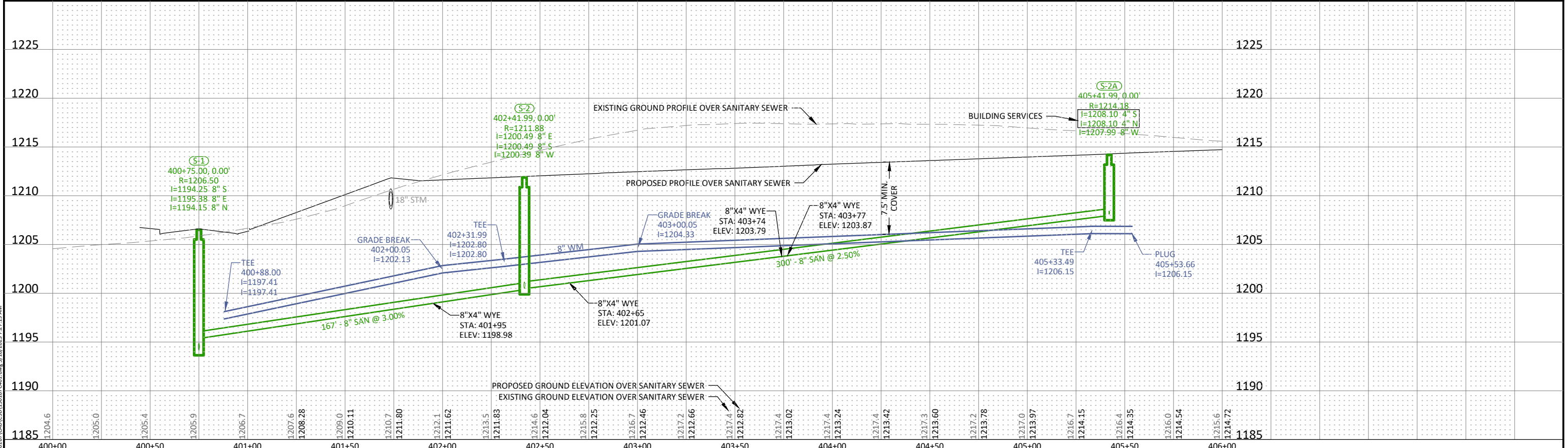
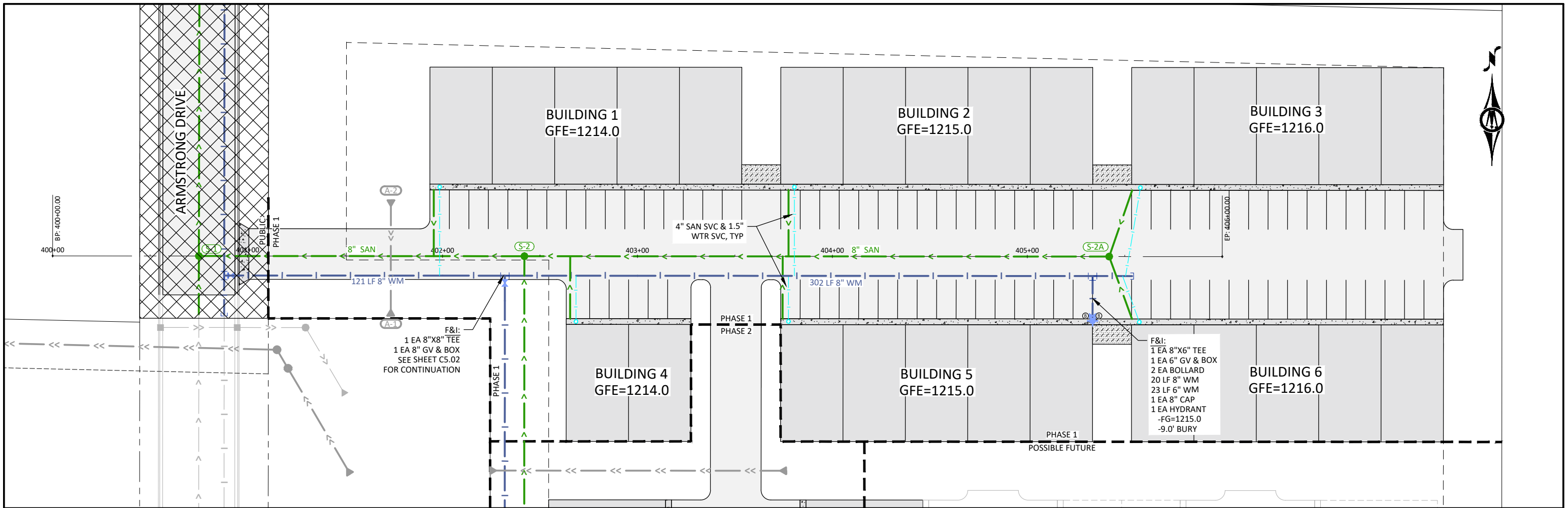


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.			
0M1.130187			

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 GRADING PLAN

SHEET
C4.04



© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\PROJECTS_P\121528\CD\31031019\6401.dwg 1/18/2023 7:27:19 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

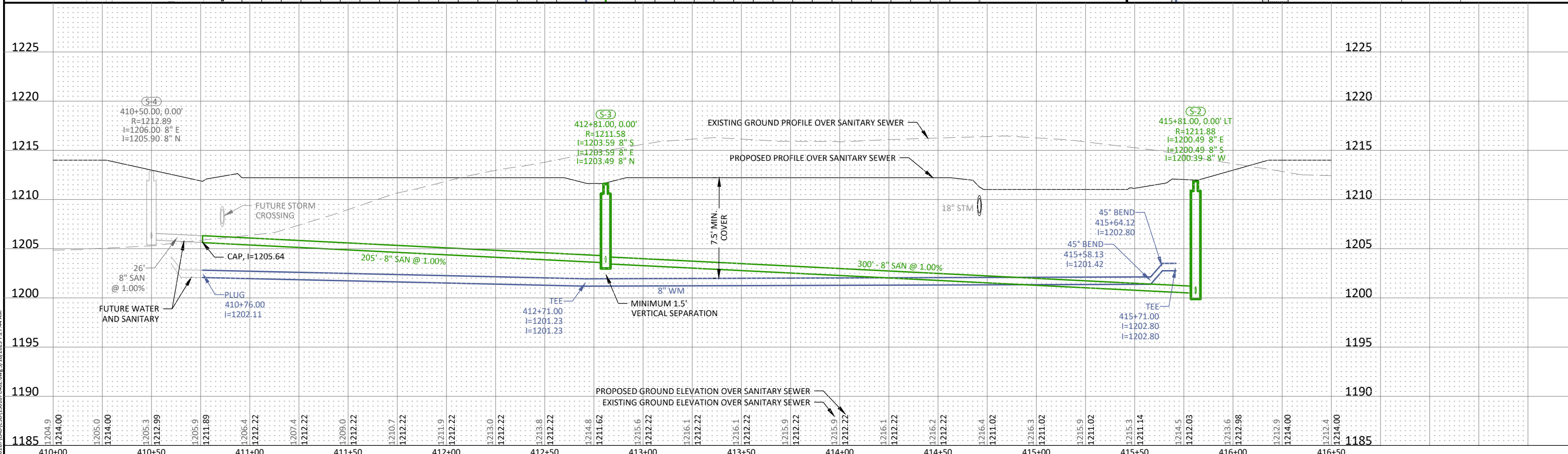
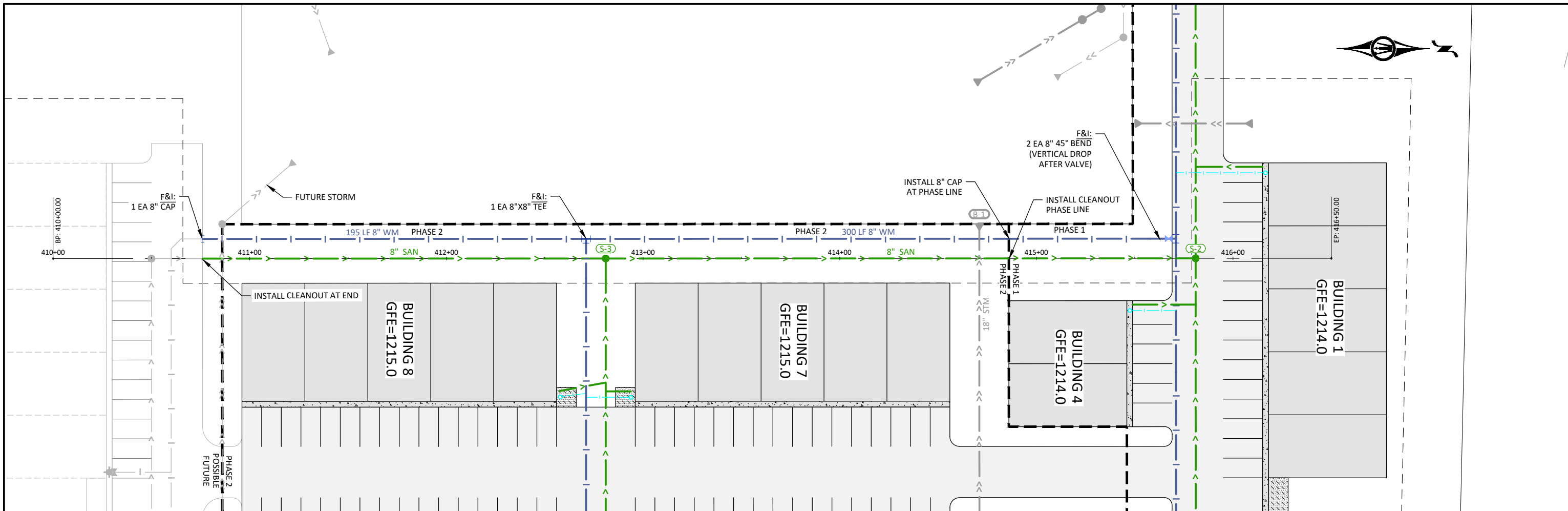


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

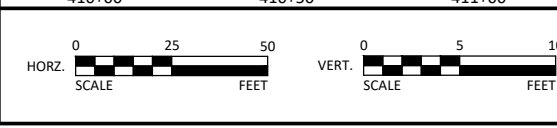
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 SANITARY & WATER SERVICE PLAN
 BUILDINGS 1 TO 6 - STA 400+00 TO 406+00

SHEET
C5.01



© Bolton & Menk, Inc. 2023. All Rights Reserved. P:\METS\130187\130187.dwg 1/18/2023 7:27:44 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

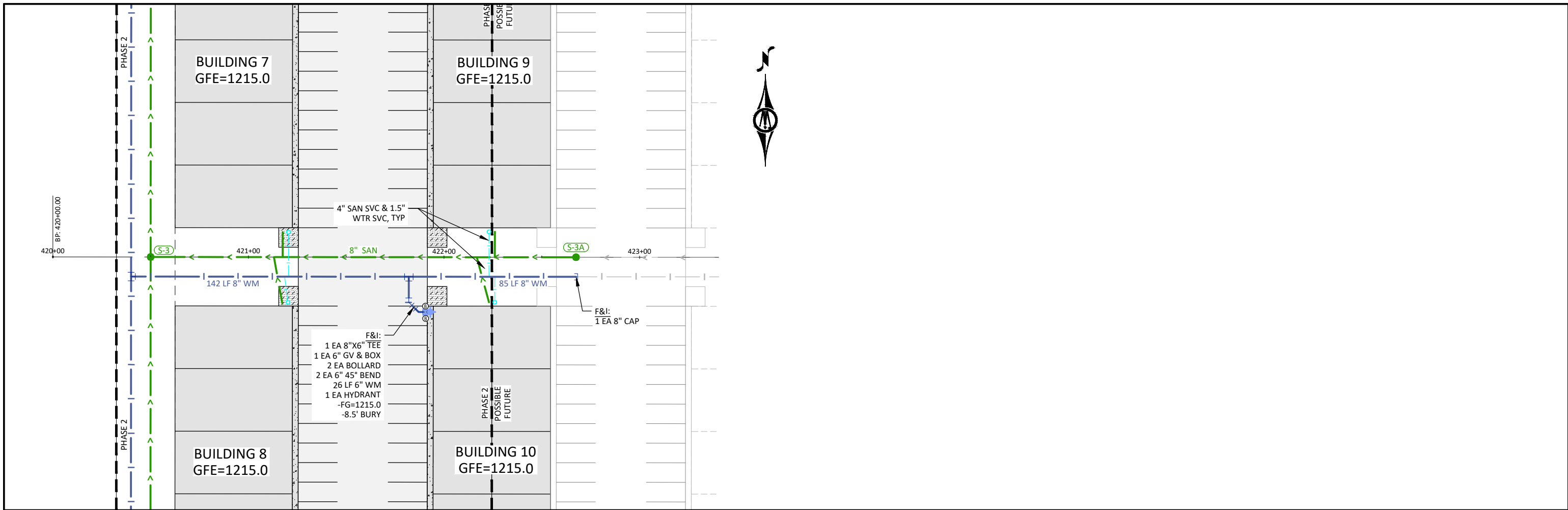


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

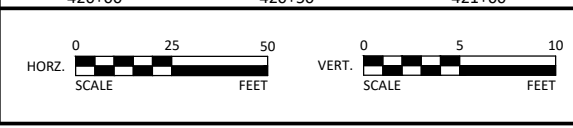
DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 SANITARY & WATER SERVICE PLAN
 LATERAL - STA 410+00 TO 416+50

SHEET
C5.02



© Bolton & Menk, Inc. 2023. All Rights Reserved. P:\METS\130125_Fairmont\3D\CD\3D130125_C5.03.dwg 15/03/2023 7:28:05 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

ALEC W. PIETZ, P.E.
LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
MANKATO, MINNESOTA 56001
Phone: (507) 625-4171
Email: Mankato@bolton-menk.com
www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
AWP			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

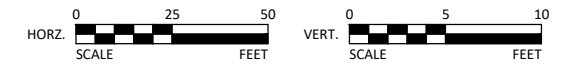
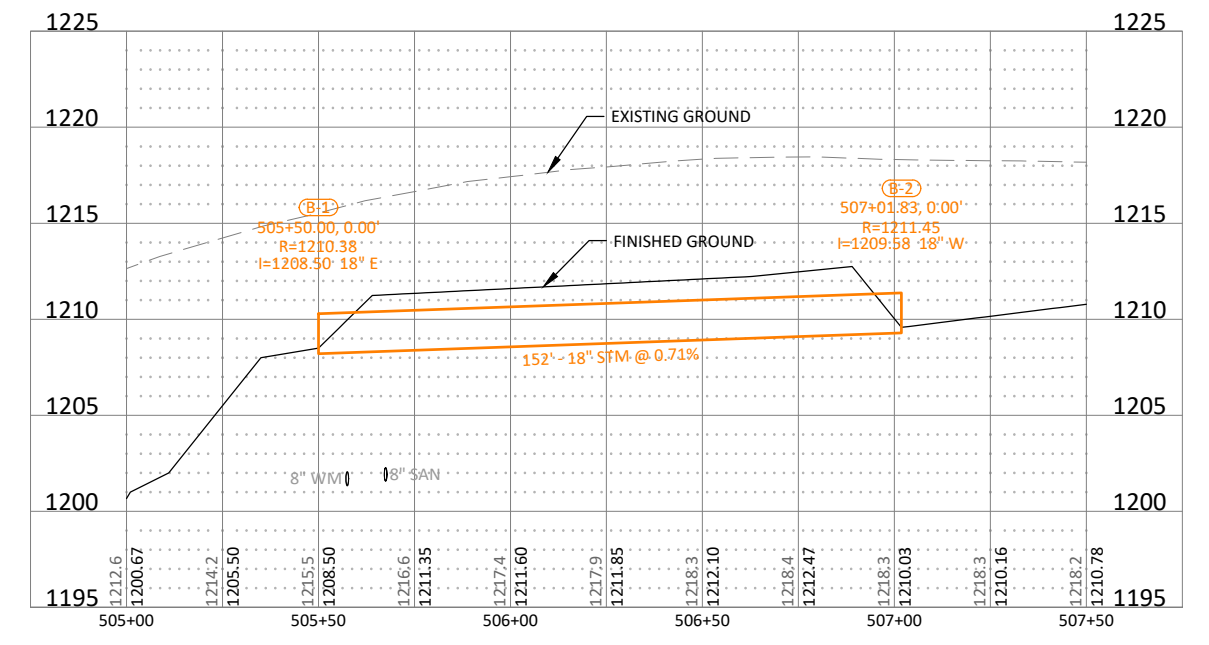
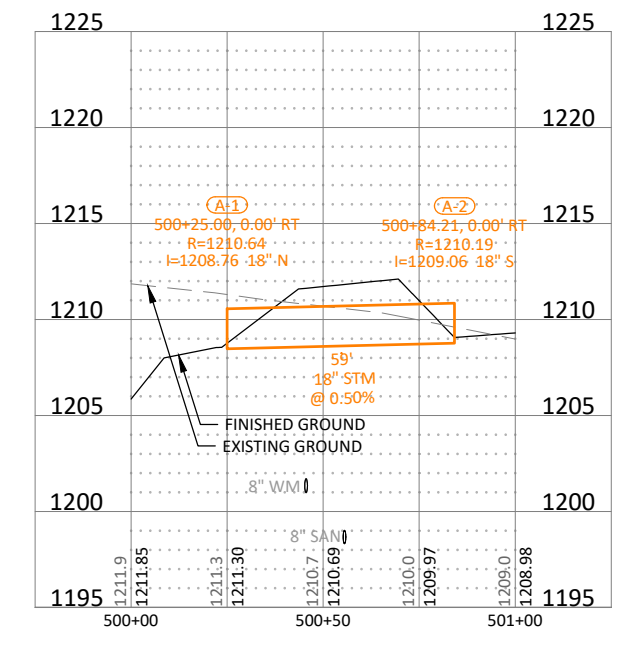
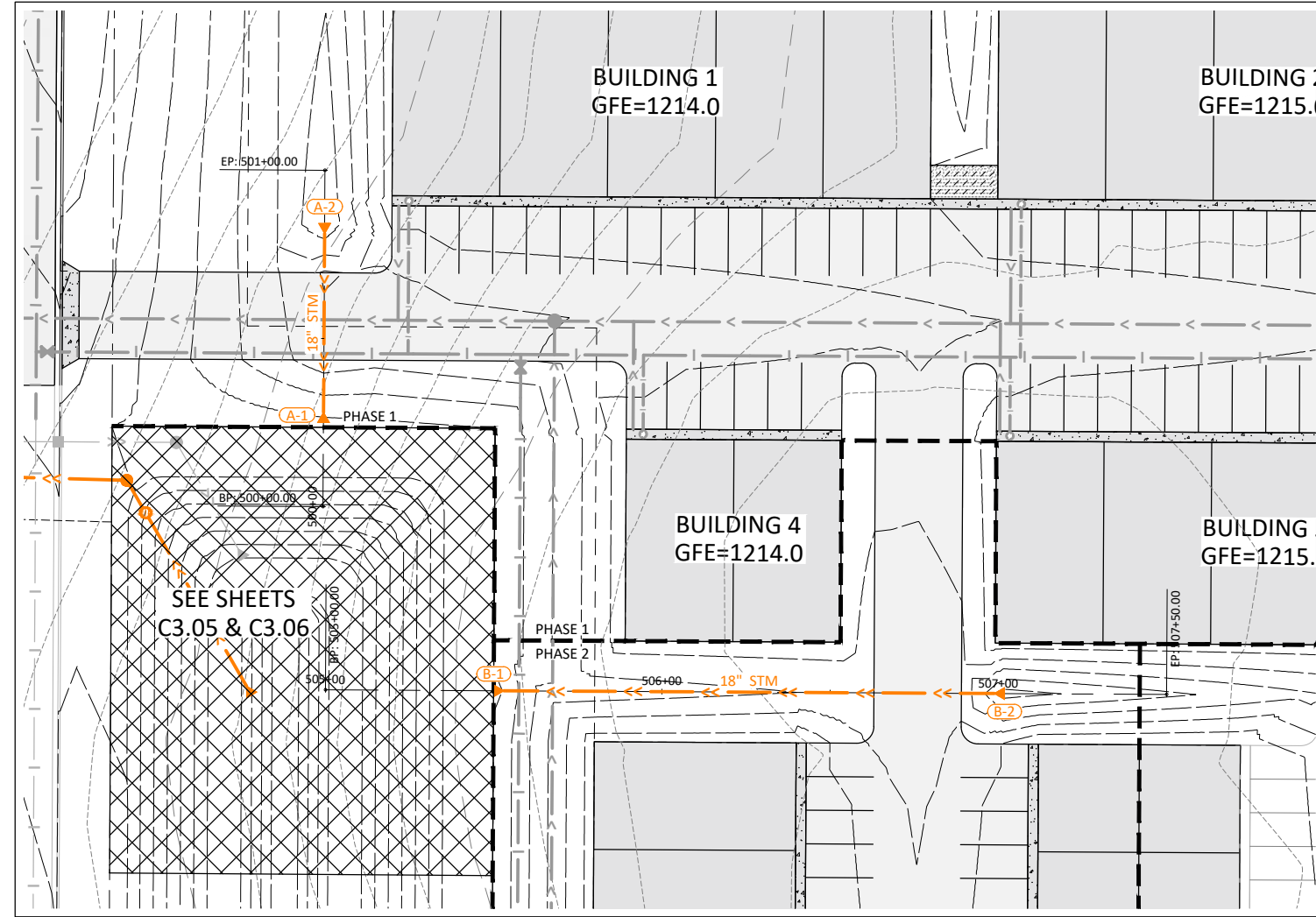
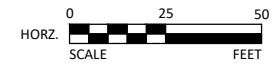
KEY CITY GROUP, LLC

FAIRMONT CONTRACTOR CONDOMINIUMS

SANITARY & WATER SERVICE PLAN

BUILDINGS 7 TO 10 - STA 420+00 TO 423+00

SHEET **C5.03**



© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\PROJECTS_P\15130287\CD\130180187\SD1.dwg 5/15/2023 7:28:31 AM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX

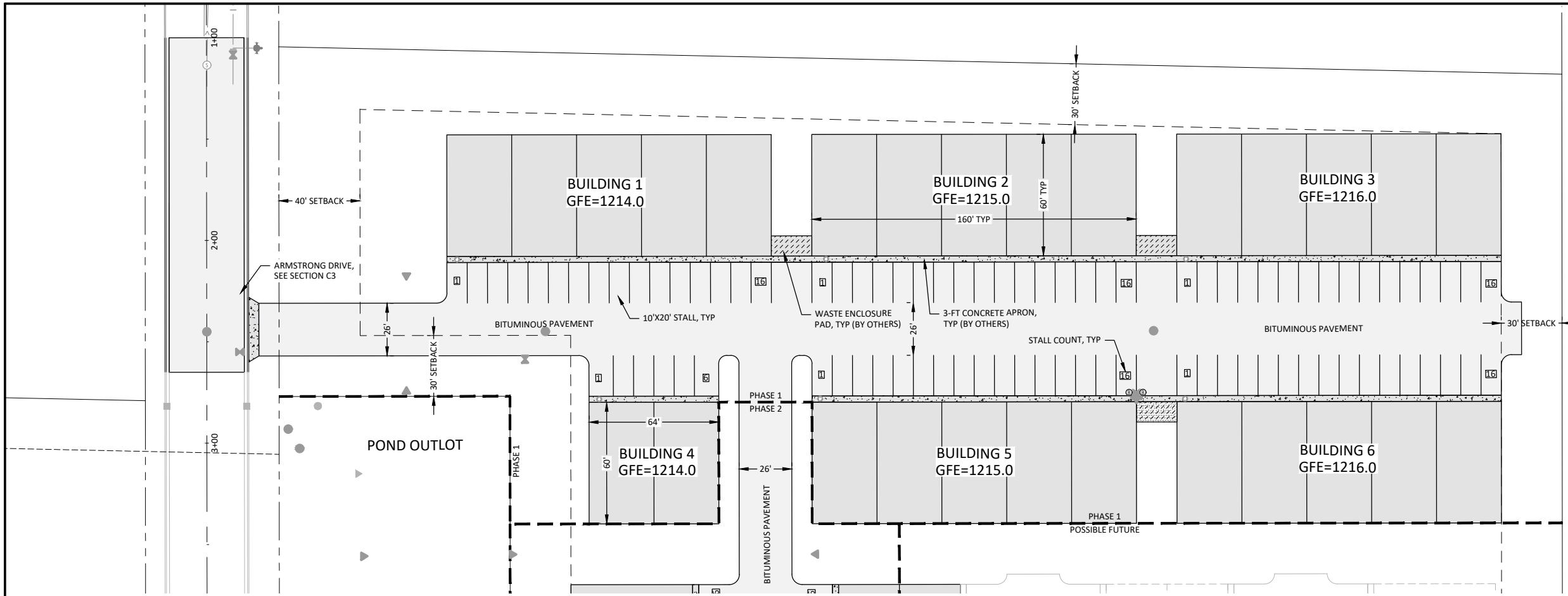


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1.130187		

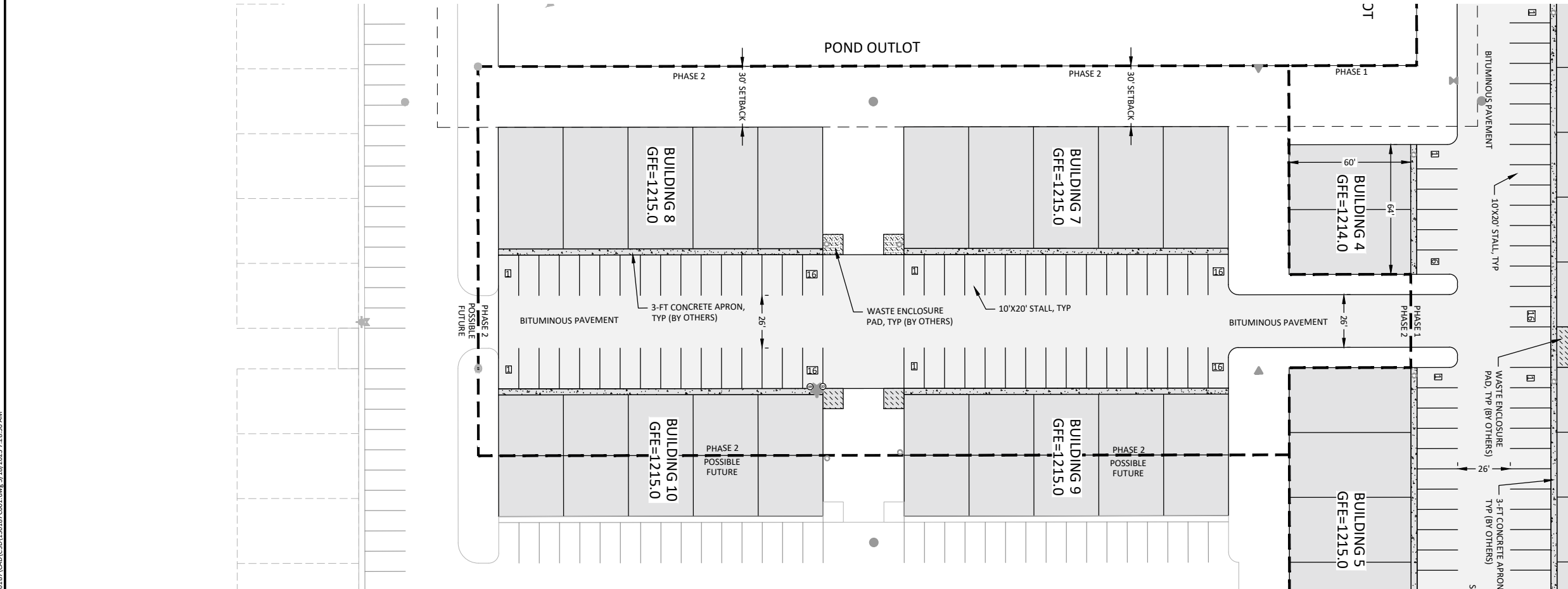
KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 DRAINAGE PLAN

SHEET
C5.04



SITE PARKING
 TOTAL STALL COUNT = 150
 # UNITS = 47
 STALL/UNIT = 3.2

LOT COVERAGE
 BUILDINGS 1 TO 10 = 90,240 SF
 LOT AREA = 12.15 AC (529,254 SF)
 BUILDING COVERAGE = 17.05%



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NOT FOR CONSTRUCTION
 ALEC W. PIETZ, P.E.
 LIC. NO. 59617 DATE XX/XX/XXXX



1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 Phone: (507) 625-4171
 Email: Mankato@bolton-menk.com
 www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
AWP			
DRAWN			
CHECKED			
MS			
CLIENT PROJ. NO.	0M1-130187		

KEY CITY GROUP, LLC
 FAIRMONT CONTRACTOR CONDOMINIUMS
 SITE PLAN

SHEET
C6.01



© Bolton & Menk, Inc. 2023. All Rights Reserved. A:\MCTC16_P\01M1-130187\0601.dwg 1/18/2023 7:28:56 AM



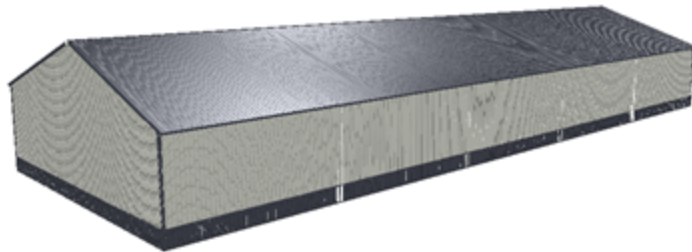
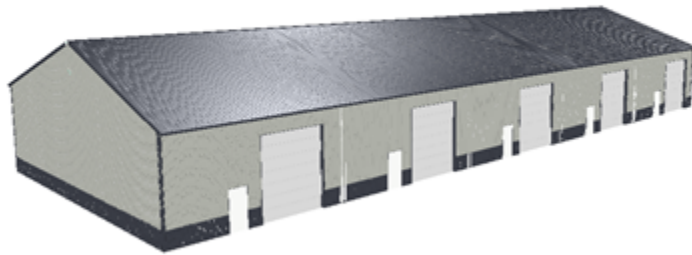
Jon Ahern
Cell Phone: (507) 351-4774
Phone Number: (507) 625-5170
Email: JAhern@clearybuilding.com

4/13/2023
SPRAGUE, DANIEL
Doc ID: 1073520230413102554

Cleary Buildings Project Estimate

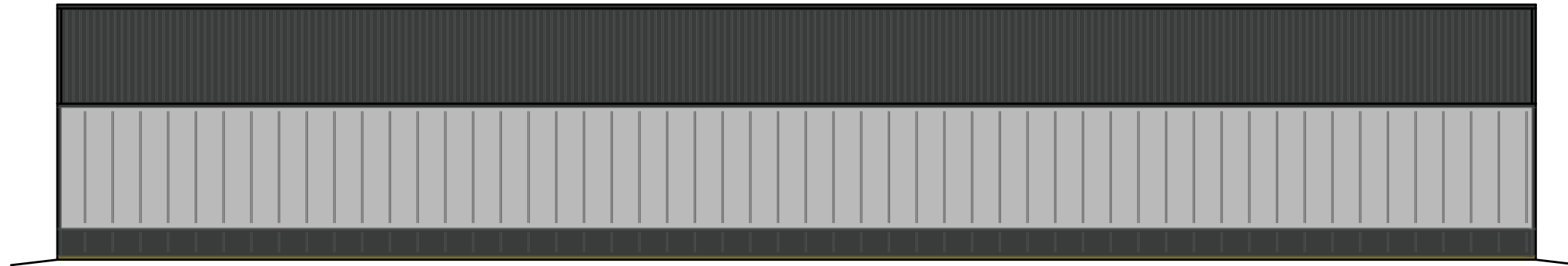
Client Proposal - Erected

Project Name: SPRAGUE, DANIEL
Site Address: UNKNOWN FAIRMONT, MINNESOTA 56031
Email: nhillenterprises@gmail.com
Cell Phone: (507) 380-2718

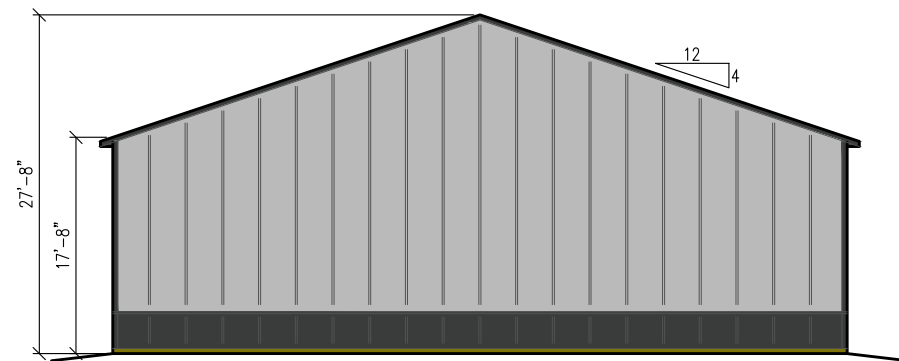




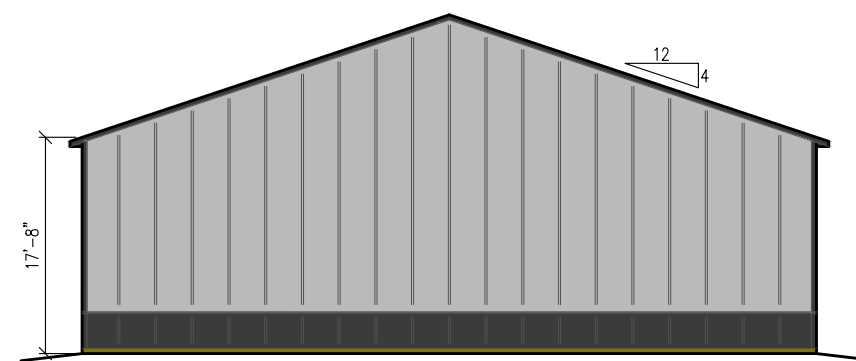
Proposed Building for: Midwest Shop Condos.



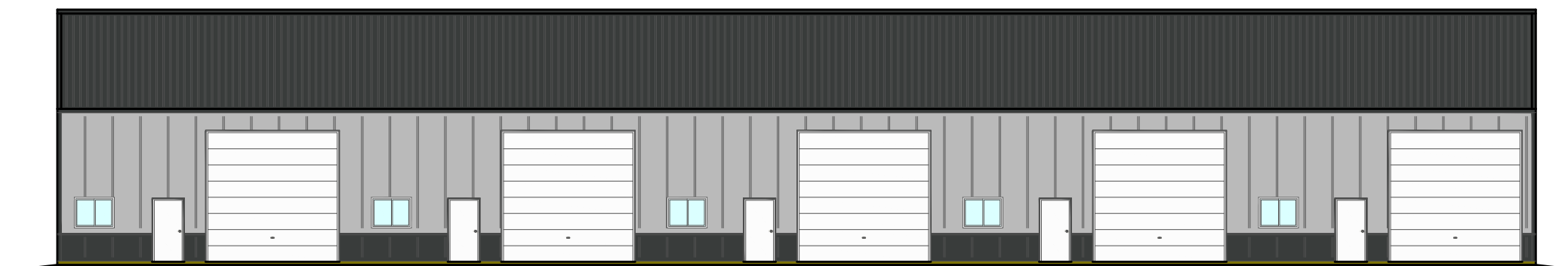
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

BUILDING COLORS
ROOF: CHARCOAL GRAY
SIDES: LIGHT GRAY
TRIM: CHARCOAL GRAY
WAINSCOTING: CHARCOAL GRAY

We Protect What You Value™

NOTE:
THE COLORS SHOWN ON THIS
PROPOSAL ARE AS CLOSE TO
THE ACTUAL PAINTED COLORS
AS PERMITTED BY THE PRINTING
PROCESS